

ALTERATIONS AND ADDITIONS AT LOT 22 IN DP 758468 11 MONTAGUE ST, GOULBURN, NSW, 2580

DWG #	REV #	TITLE OF DRAWING
A-01	A	TITLE
A-02	A	SURVEY
A-03	A	EXISTING SITE PLAN
A-04	A	EXISTING GROUND FLOOR PLAN
A-05	A	EXISTING FIRST FLOOR PLAN
A-06	A	EXISTING ELEVATIONS
A-07	A	EXISTING ELEVATIONS
A-08	A	EXISTING ROOF PLAN
A-09	A	DEMOLITION GROUND FLOOR PLAN
A-10	A	DEMOLITION FIRST FLOOR PLAN
A-11	A	DEMOLITION ELEVATIONS
A-12	A	DEMOLITION ELEVATIONS

DWG #	REV #	TITLE OF DRAWING
A-13	A	DEMOLITION ROOF PLAN
A-14	A	PROPOSED SITE PLAN
A-15	A	PROPOSED GROUND FLOOR PLAN
A-16	A	PROPOSED FIRST FLOOR PLAN
A-17	A	PROPOSED ELEVATIONS
A-18	A	PROPOSED ELEVATIONS
A-19	A	PROPOSED ROOF PLAN
A-20	A	PROPOSED CARPORT PLAN
A-22	A	DETAIL WET AREA FLOOR PLAN & ELEVATIONS
A-23	A	DETAIL FIRE STAIR PLAN & DETAILS
A-24	A	SECTION A-A
A-25	A	SECTION B-B



ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE ALTERATION AND ADDITION	DRAWING TITLE TITLE	DRAWING COMMENCED OCT 24	DRAWING VERIFIED BY T.L.
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE	DRAWN BY JT
<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>			TL TIM LEE ARCHITECTS <small>residential commercial industrial</small> P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703
				DRAWING IDENTIFICATION NUMBER A-01	AMENDMENT ISSUE A	



M. G. A. MERIDIAN



The plan has been prepared for Detail purposes for use in the matter.

NOT TO BE USED FOR BOUNDARY DEFINITION

PLAN SHOWING
DETAIL SITE SURVEY
OF LOT 22 IN
SECTION 6 OF
D.P.758468
11 MONTAGUE STREET
GOULBURN

REFERENCE: 40386

LGA:
GOULBURN MULWAREE

DATE: 30/08/2024

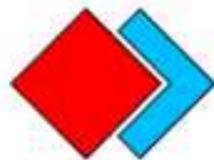
PLAN EDITION: A

PLAN NUMBER:
40386-A-2024-08-30-SD

SCALE: 1:200

SHEET: 1 OF 1

Origin of Level: SCIMS
PM 8828
RL:637.087
Contour interval: 0.2m
Height Datum: AHD



SRD
LAND CONSULTING

GOULBURN: 4823 5100 | YOUNG: 6382 1501
THE LAND CONSULTANT SPECIALISTS
WWW.SRDLAND.COM.AU



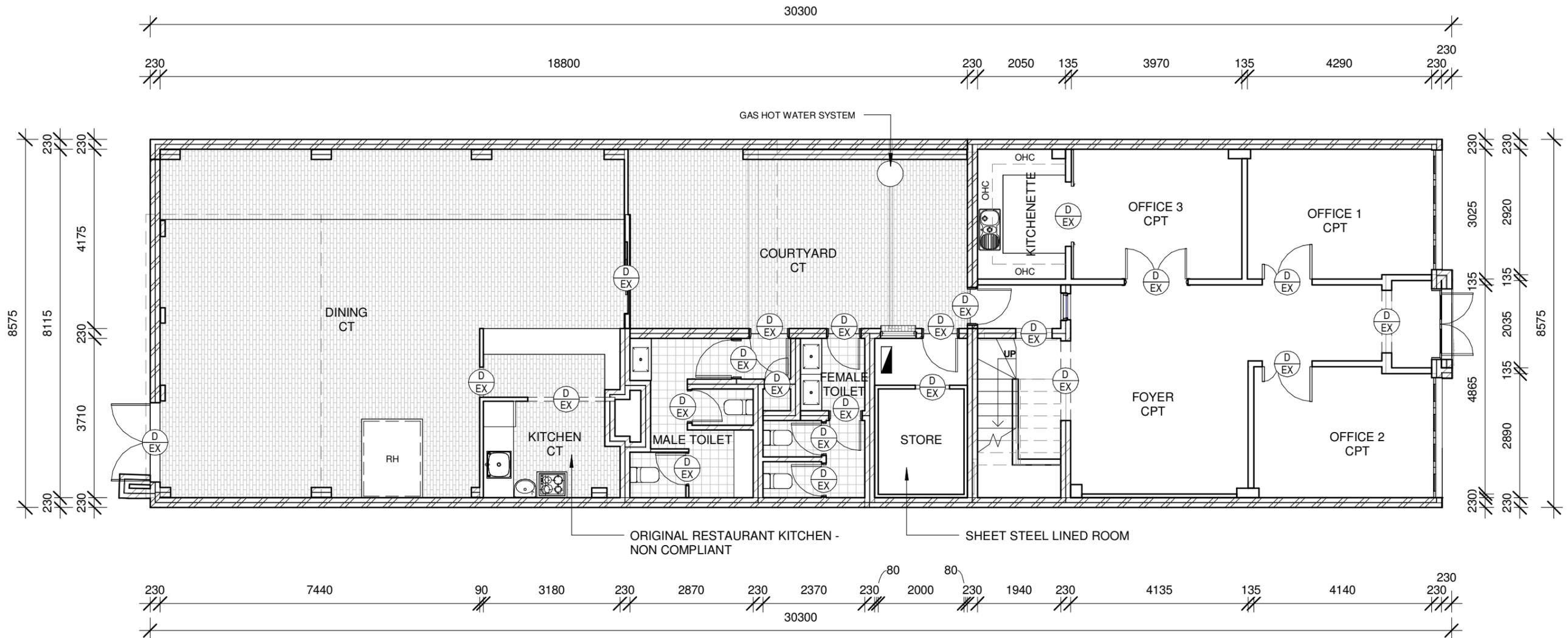


1 EXISTING SITE PLAN
1 : 200 @ A3



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REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION		EXISTING SITE PLAN	OCT 24	T.L.
			CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE 1 : 200	DRAWN BY JT	
			<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>	STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703	
					DRAWING IDENTIFICATION NUMBER A-03	AMENDMENT ISSUE A	



ENTRY	1.90 m ²
KITCHEN 1	6.20 m ²
FEMALE TOILET	7.13 m ²
STORE	8.01 m ²
MALE TOILET	10.32 m ²
OFFICE 3	12.01 m ²

KITCHEN 2	12.07 m ²
OFFICE 2	12.44 m ²
OFFICE 1	12.86 m ²
FOYER	25.63 m ²
COURTYARD	32.98 m ²
DINING AREA	74.45 m ²

1 EXISTING GROUND FLOOR PLAN
1 : 100 @ A3



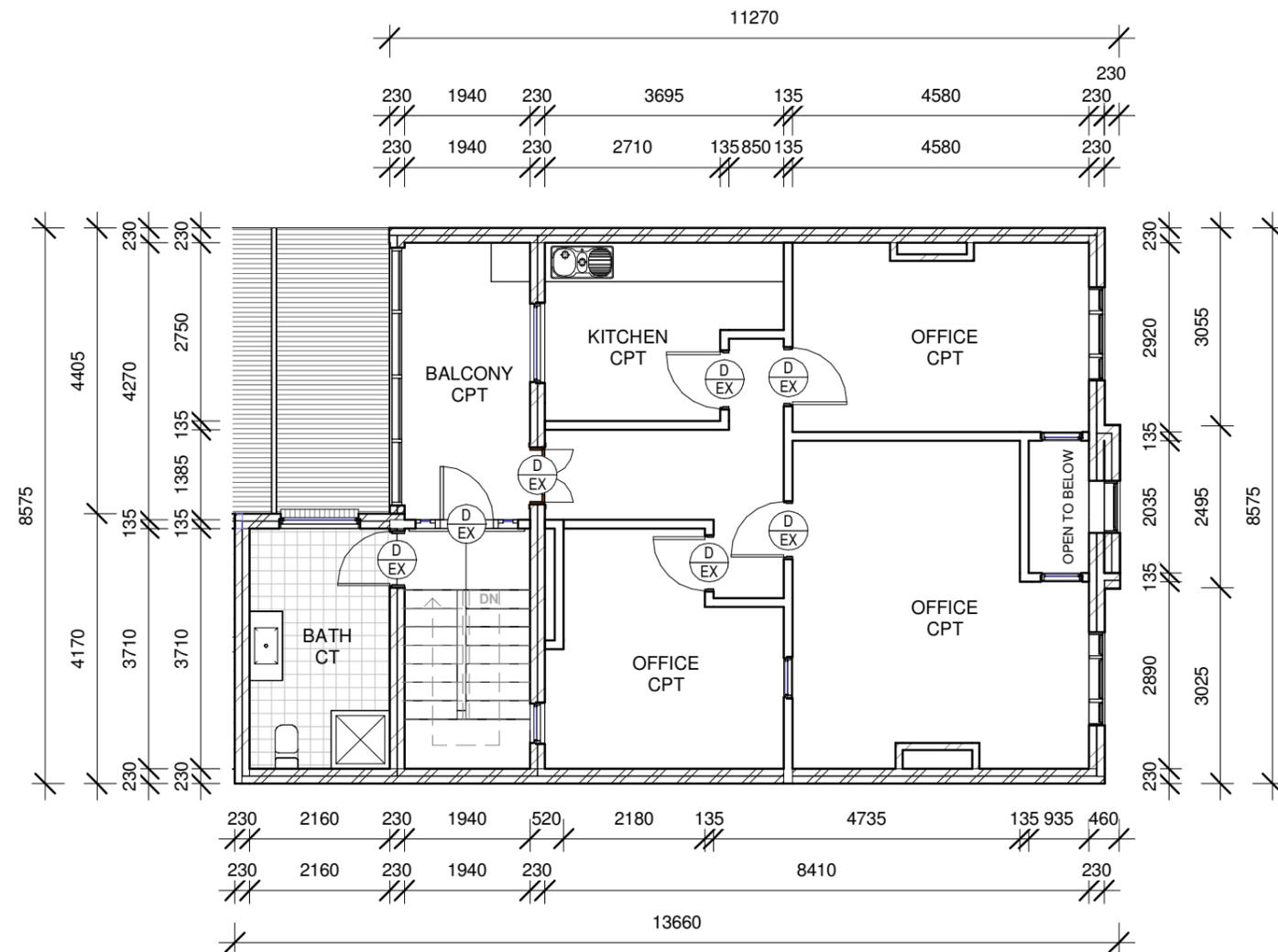
ISSUED FOR
DEVELOPMENT APPLICATION
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DRAWING AMENDMENTS			PROJECT TITLE ALTERATION AND ADDITION		TIM LEE ARCHITECTS residential commercial industrial		DRAWING TITLE EXISTING GROUND FLOOR PLAN		DRAWING COMMENCED OCT 24		DRAWING VERIFIED BY T.L.	
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	CLIENT DIANA KIRKPATRICK		P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580		LOT AND DEPOSITED PLAN NO. LOT 22 DP758468		DRAWING SCALE 1 : 100		DRAWN BY JT	
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			©				DRAWING IDENTIFICATION NUMBER A-04					

LEGEND	
	DOOR NUMBER, REFER TO SCHEDULE
	WINDOW NUMBER, REFER TO SCHEDULE
	HIGHLIGHT WINDOW NUMBER, REFER TO SCHEDULE
	DOWNPIPES, SPACED MAX. 12m APART
	DOWNPIPES WITH SPREADER
TIMB	TIMBER FLOORING
CPT	CARPET INCLUDING ALL TRIMS & EDGING STRIPS
CT	NON-SLIP FLOOR TILES, MIN R11/P4 SLIP RATING, FULLY VITRIFIED, GUARANTEED 10 YEARS
CONC	CONCRETE, NON-SLIP HONED FINISH
BR. CONC	CONCRETE, NON-SLIP BRUSHED FINISH
RH	RANGEHOOD OVER COOK TOP
	COOK TOP, REFER TO BASIX
	DISHWASHER, CONNECT TO SINK DRAIN
OHC	OVERHEAD CUPBOARDS
	MECHANICAL VENTILATION, CEILING OR WALL MOUNTED EXHAUST
	CEILING MOUNTED HARD WIRED SMOKE ALARMS INSTALLED TO MEET AS 3786
HWS	SEMI RECESSED INSTANT GAS HOT WATER UNIT
MB	METER BOX & NBN CONNECTION POINT
GM	GAS METER
DB	INTERNAL DISTRIBUTION BOARD
	WET AREA

1 EXISTING FIRST FLOOR PLAN
1 : 100 @ A3

BALCONY	8.28 m ²
BATHROOM	8.01 m ²
BED 1	13.37 m ²
BED 2	20.85 m ²
BED 3	11.68 m ²
FLOOR AREA	225.00 m ²
KITCHEN	8.77 m ²

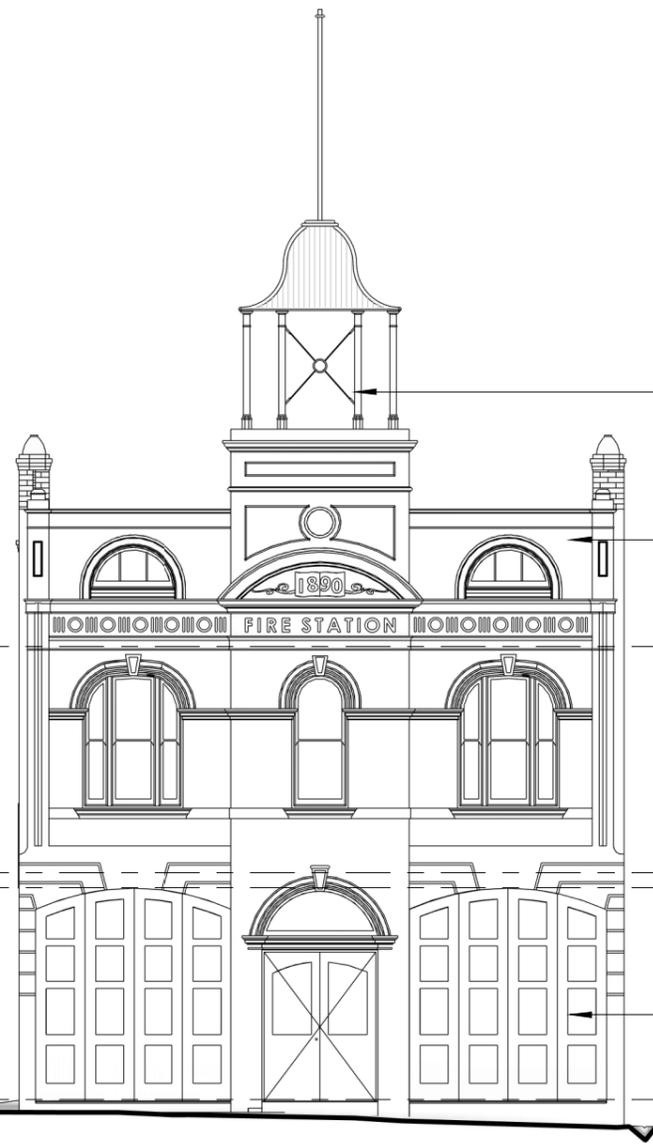


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DRAWING AMENDMENTS			PROJECT TITLE	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION	EXISTING FIRST FLOOR PLAN	OCT 24	T.L.
			CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE 1 : 100	DRAWN BY JT
			FIGURED DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. BUILDER TO CHECK ALL LEVELS DATUM AND DIMENSIONS ON THE JOB. CONFLICTING INFORMATION TO BE RESOLVED BY THE PROJECT MANAGER PRIOR TO COMMENCING WORK. ALL MATERIALS AND WORKMANSHIP TO BE IN STRICT ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS, BCA, LOCAL REGULATION AND MANUFACTURERS CURRENT PRINTED INSTRUCTIONS. UNLESS NOTED OTHERWISE USE ONLY BEST QUALITY MATERIALS, FITTINGS AND FIXTURES. COPYRIGHT TIM LEE ARCHITECTS DRAWINGS SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.	STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703
					DRAWING IDENTIFICATION NUMBER A-05	AMENDMENT ISSUE A

TIM LEE ARCHITECTS
residential commercial industrial
P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030





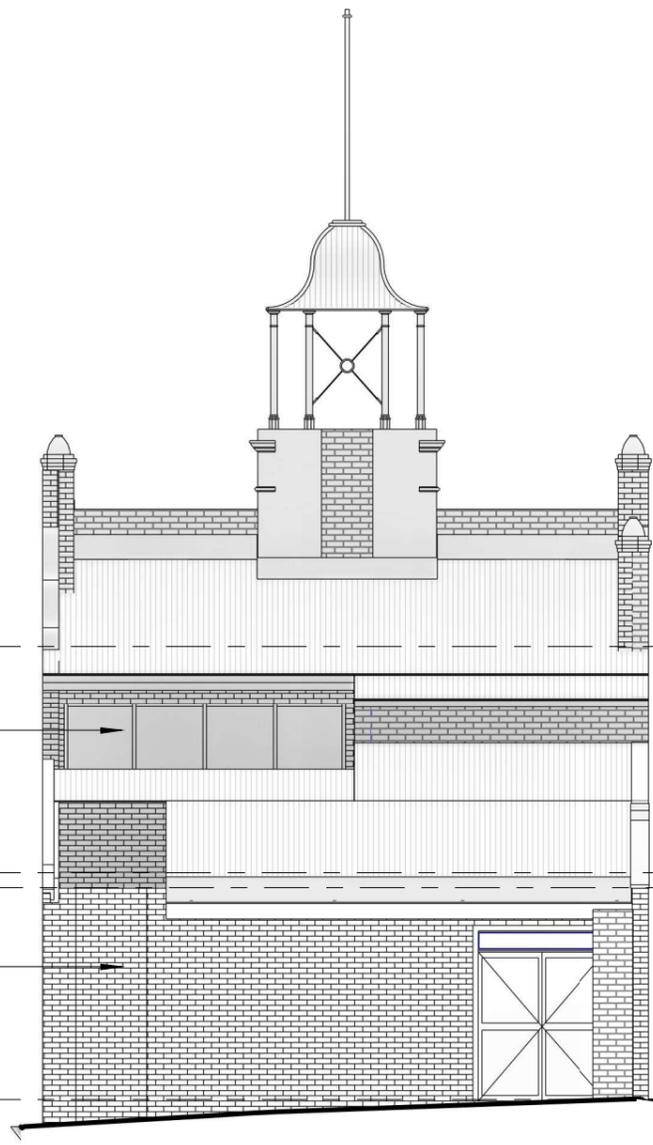
ORIGINAL BELL TOWER - BELL REMOVED

ORIGINAL FACADE, RENDERED BRICKWORK

1990's BALCONY INFILL AND COURTYARD ROOFING

1980's MASONRY ADDITION

TIMBER HINGED DOORS, ORIGINAL HARDWARE INTACT



FCL 2 645975

FEL 2 642775

FCL 1 642560

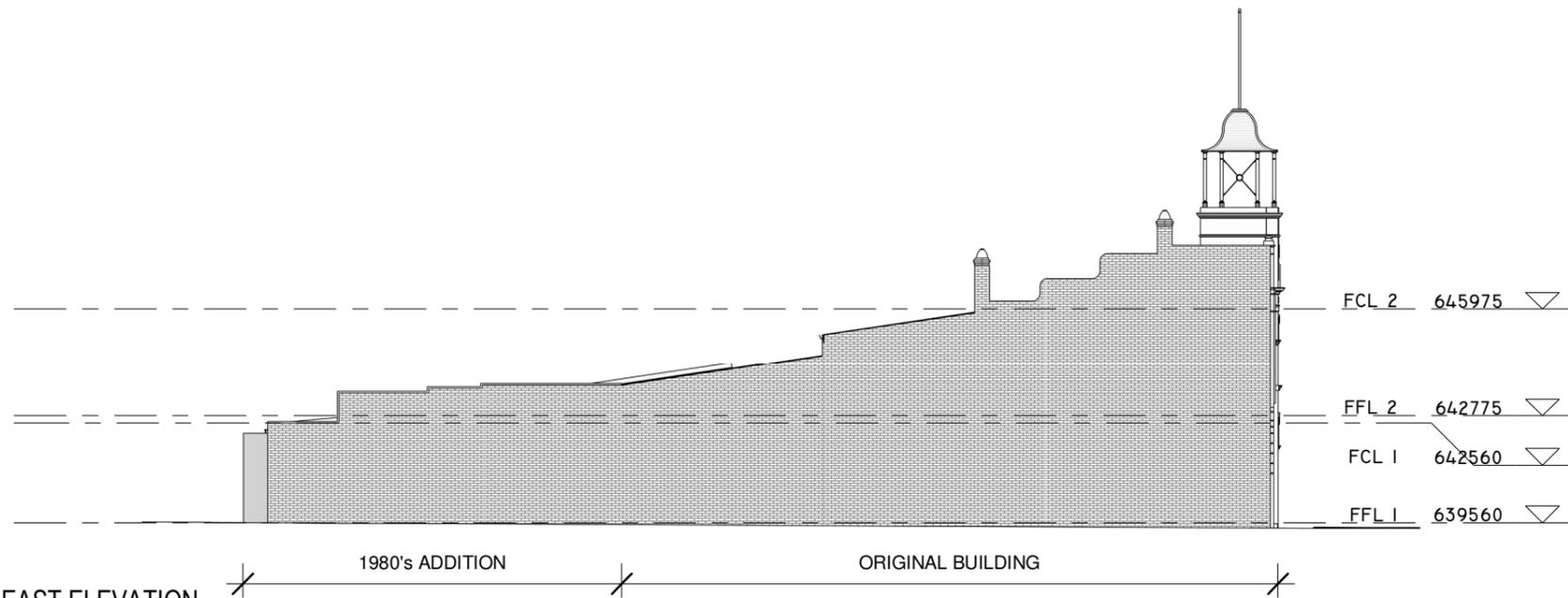
FEL 1 639560

1 EXISTING NORTH ELEVATION
1 : 100 @ A3

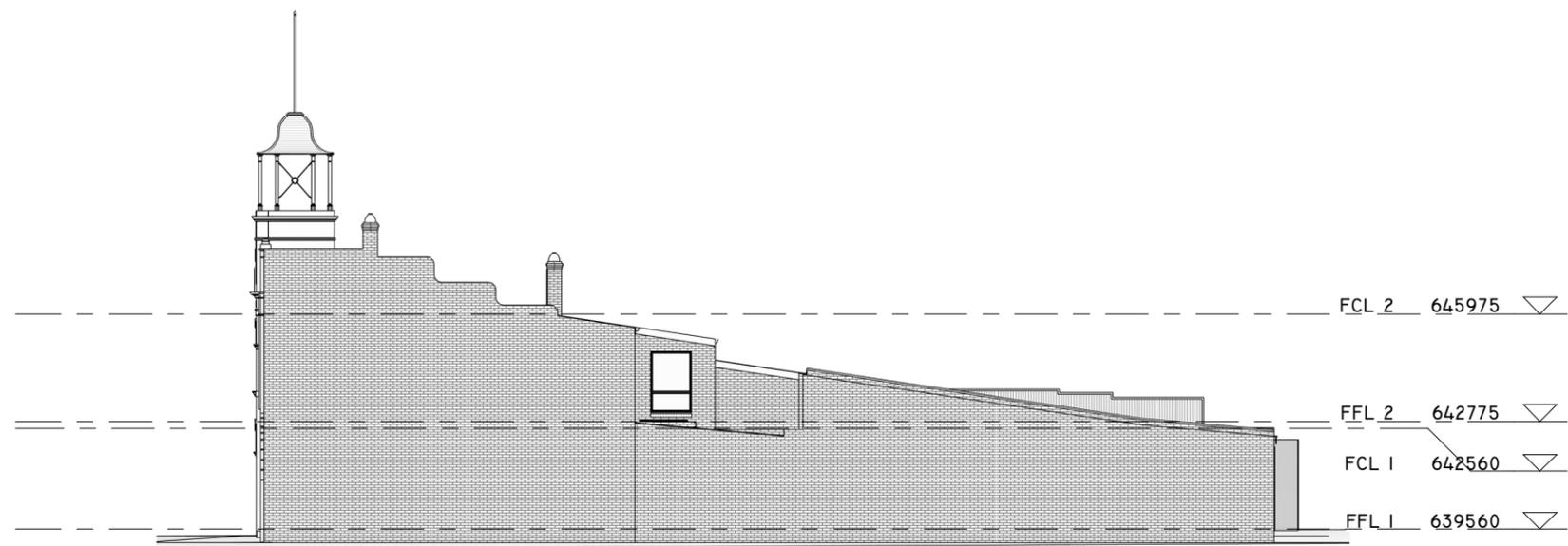
2 EXISTING SOUTH ELEVATION
1 : 100 @ A3

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REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION		EXISTING ELEVATIONS	OCT 24	T.L.
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					DRAWING IDENTIFICATION NUMBER A-06	AMENDMENT ISSUE A	



1 EXISTING EAST ELEVATION
1 : 200 @ A3



2 EXISTING WEST ELEVATION
1 : 200 @ A3

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					DRAWING IDENTIFICATION NUMBER A-07		



1 EXISTING ROOF PLAN
1 : 100 @ A3

EXISTING BELL TOWER - BELL REMOVED



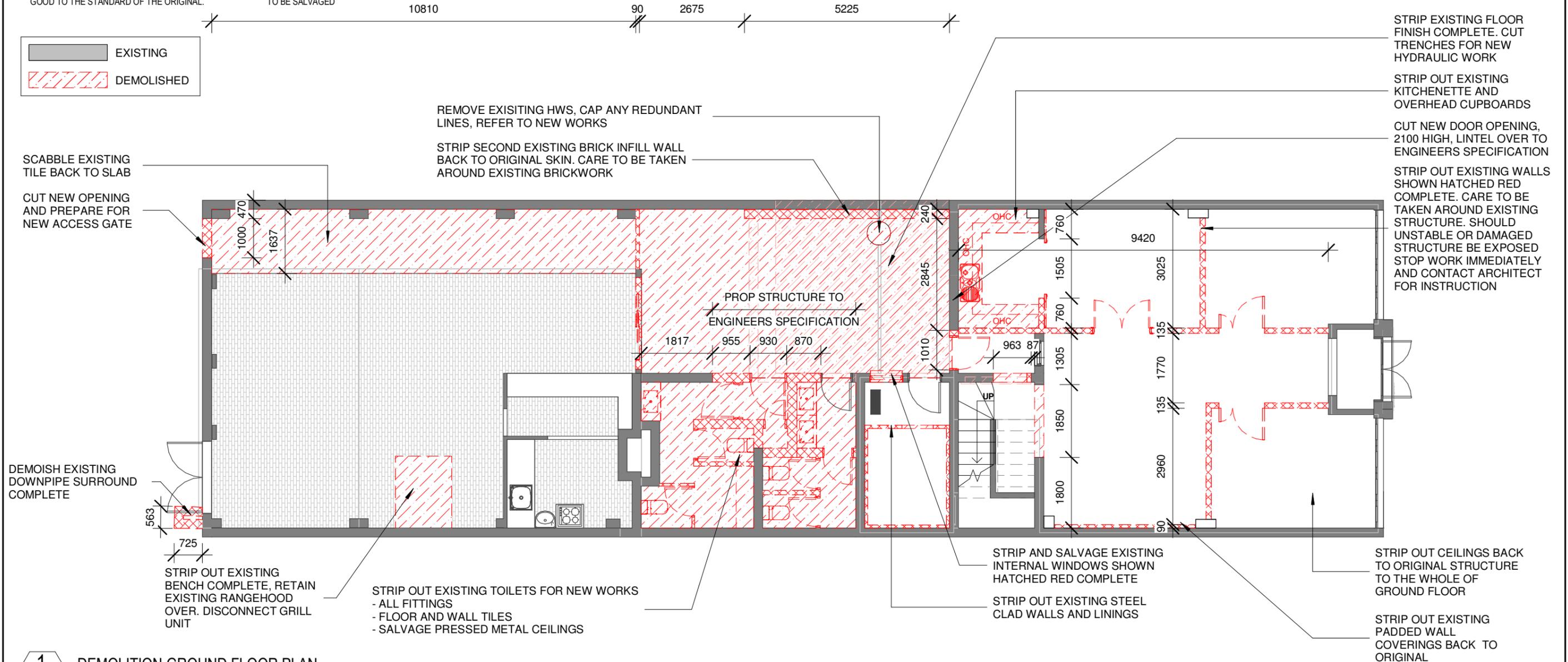
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					DRAWING IDENTIFICATION NUMBER A-08	AMENDMENT ISSUE A	

DEMOLITION:

- ANY DAMAGE RESULTING FROM THE WORKS MUST BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- DEMOLITION SHALL BE CARRIED OUT SO AS TO CAUSE NO DISTURBANCE TO SURROUNDING STRUCTURES. CARE TO BE TAKEN BELOW SLAB LEVEL.
- LOCATE AND PREVENT ANY DAMAGE TO EXISTING SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT DAMAGE TO ALL ADJACENT WORK. SHOULD ANY DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE GOOD TO THE STANDARD OF THE ORIGINAL.
- IF AND WHEN OPENING UP ANY WORK, ANY CONDITIONS ARE FOUND TO BE UNSOUND OR UNSAFE THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR THEIR INSTRUCTIONS.
- PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
- PROVIDE AS CONSTRUCTED DRAWINGS INDICATING LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
- ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
- CONTRACTOR TO REFER TO SPECIFICATION FOR ITEMS TO BE SALVAGED

EXISTING
DEMOLISHED



1 DEMOLITION GROUND FLOOR PLAN
1 : 100 @ A3

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					DRAWING IDENTIFICATION NUMBER A-09		

EXISTING
DEMOLISHED

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- LOCATE AND PREVENT ANY DAMAGE TO EXISTING SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT DAMAGE TO ALL ADJACENT WORK. SHOULD ANY DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE GOOD TO THE STANDARD OF THE ORIGINAL.
- IF AND WHEN OPENING UP ANY WORK, ANY CONDITIONS ARE FOUND TO BE UNSOUND OR UNSAFE THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR THEIR INSTRUCTIONS.
- PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
- PROVIDE AS CONSTRUCTED DRAWINGS INDICATING LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
- ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
- CONTRACTOR TO REFER TO SPECIFICATION FOR ITEMS TO BE SALVAGED

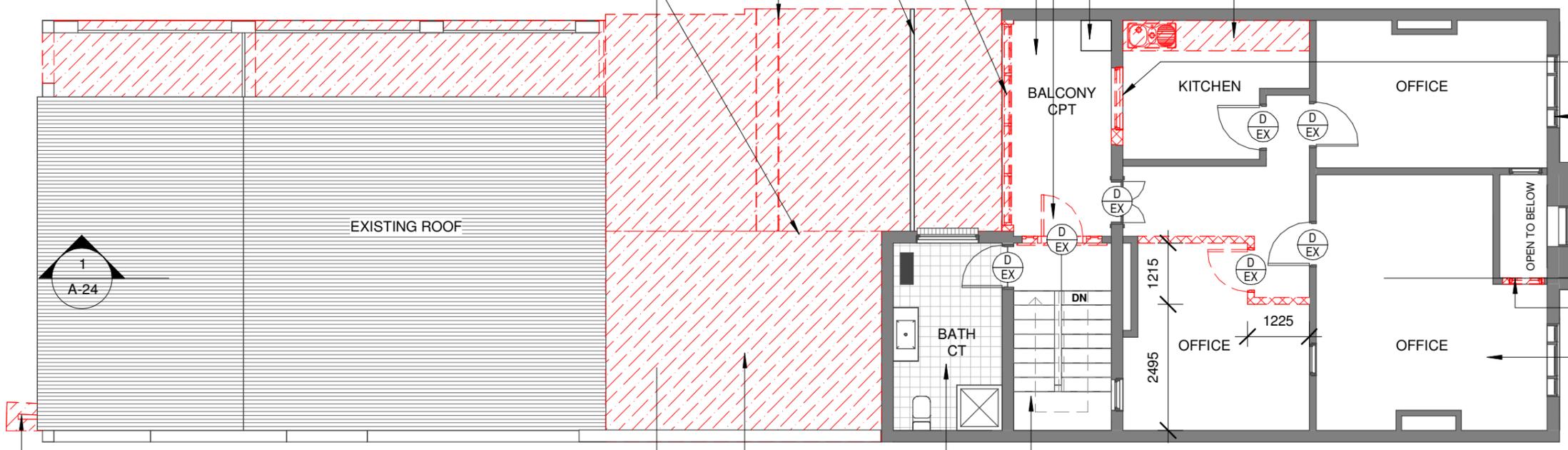
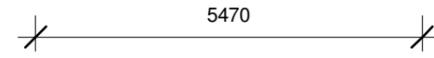
INSPECT EXISTING BALCONY STRUCTURE AND NOTIFY ARCHITECT OF ANY LATENT CONDITIONS
STRIP OUT GLASS WALL SECTION TO UPPER LEVEL BALCONY COMPLETE
INSPECT EXISTING STEEL BEAM AND NOTIFY ARCHITECT
DEMOLISH EXISTING INFILL COURTYARD CLEAR ROOF SHEETING, BOX GUTTER AND STRUCTURE COMPLETE.
DEMOLISH EXISTING WALL SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE

DEMOLISH EXISTING DOOR SHOWN HATCHED RED COMPLETE
EXISTING DUCT TO REMAIN
STRIP OUT EXISTING KITCHEN AND CUPBOARDS COMPLETE, CAP SERVICES BEHIND FINISHED WALL FACE, CAP AND TAG FOR REUSE
STRIP EXISTING FIXED TIMBER WINDOW COMPLETE. PREPARE FOR NEW OPENING
EXISTING TIMBER WINDOWS RETAINED
STRIP EXISTING WINDOW SHOWN HATCHED RED COMPLETE
EXISTING TIMBER FLOOR RETAINED

DEMOLISH EXISTING TIMBER WALL SHEETING SHOWN HATCHED RED COMPLETE CARE TO BE TAKEN AROUND EXISTING GAS MAIN AND LINES

DEMOLISH EXISTING ROOF SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE, CEILING AND LEVEL BELOW. REFER TO NEW WORKS.

EXISTING STAIR AND BATHROOM TO REMAIN



1 DEMOLITION FIRST FLOOR PLAN
1 : 100 @ A3

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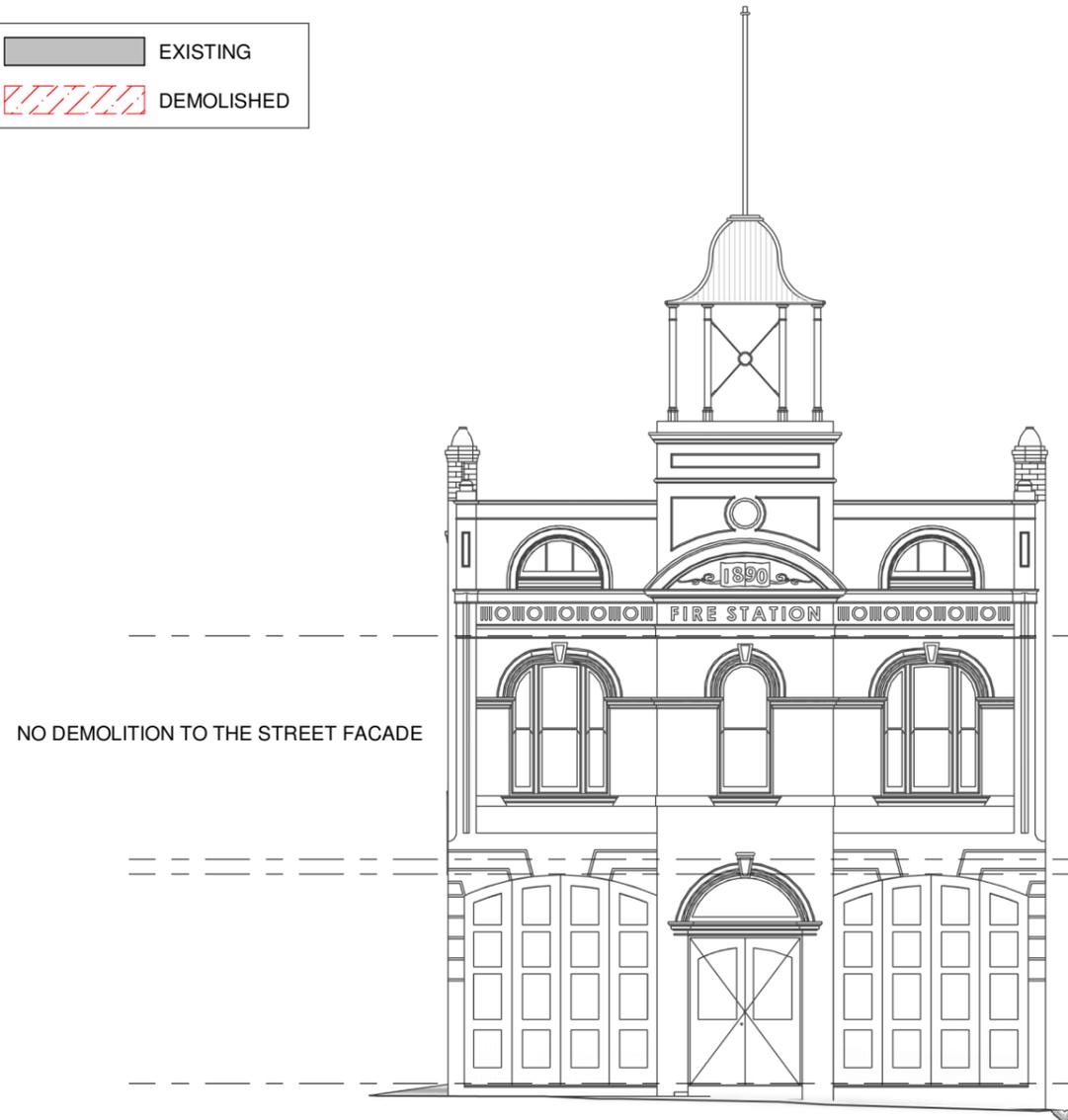
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REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION		DEMOLITION FIRST FLOOR PLAN	OCT 24	T.L.
			CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE 1 : 100	DRAWN BY JT	
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					DRAWING IDENTIFICATION NUMBER A-10	AMENDMENT ISSUE A	

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- PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
- PROVIDE AS CONSTRUCTED DRAWINGS INDICATING LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
- ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
- CONTRACTOR TO REFER TO SPECIFICATION FOR ITEMS TO BE SALVAGED

EXISTING
 DEMOLISHED

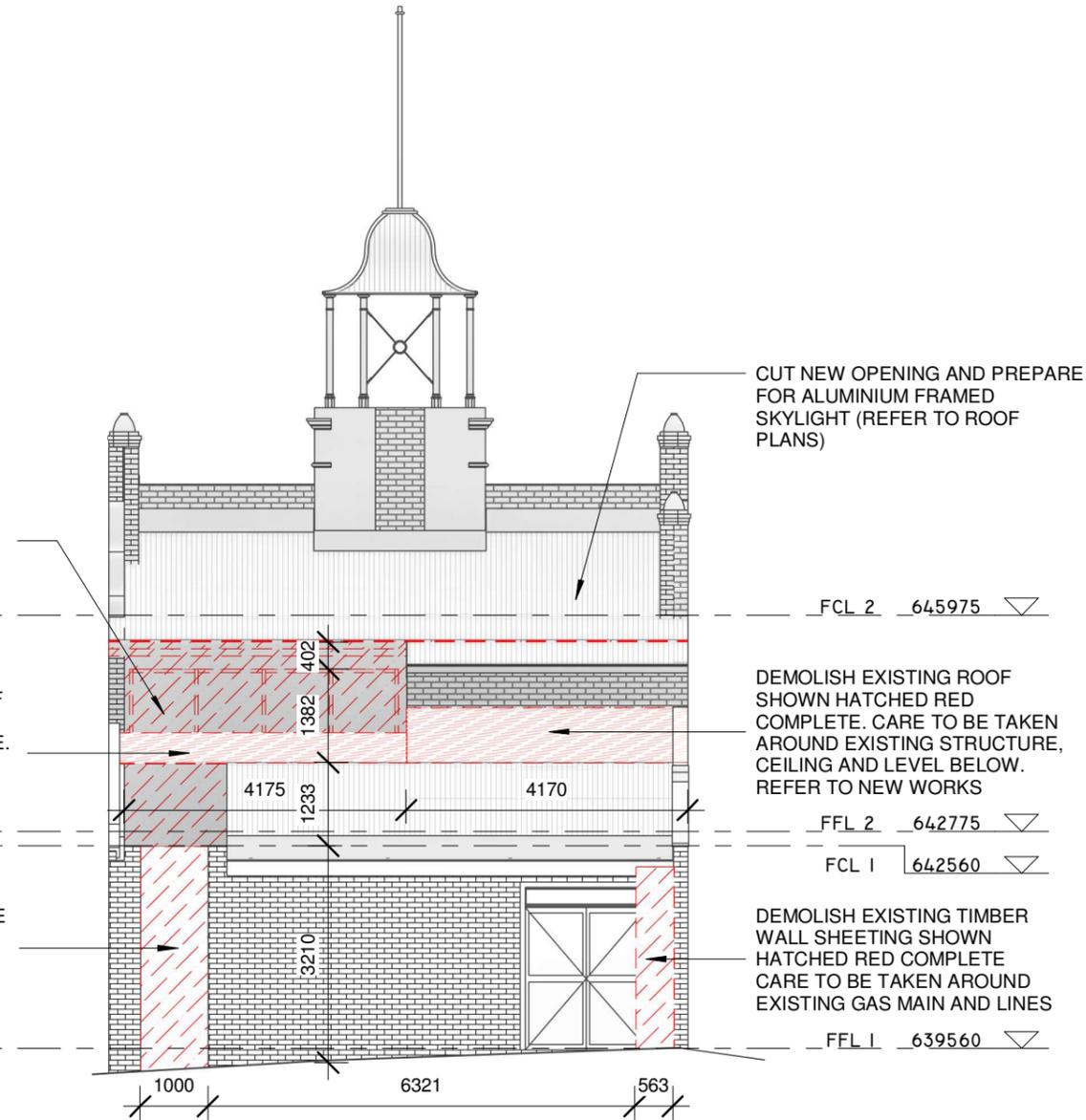


1 DEMOLITION NORTH ELEVATION
1 : 100 @ A3

STRIP OUT EXISTING BALCONY INFILL WALL AND GLAZING COMPLETE. PROP ROOF AND STRUCTURE AS REQUIRED

DEMOLISH EXISTING CLEAR ROOF SHEET AND STRUCTURE OVER EXISTING COURTYARD COMPLETE. CARE TO BE TAKEN AROUND BOUNDARY WALL AND LEVEL BELOW

CUT NEW OPENING AND PREPARE FOR NEW ACCESS GATE. NEW LINTEL TO ENGINEERS SPECIFICATION

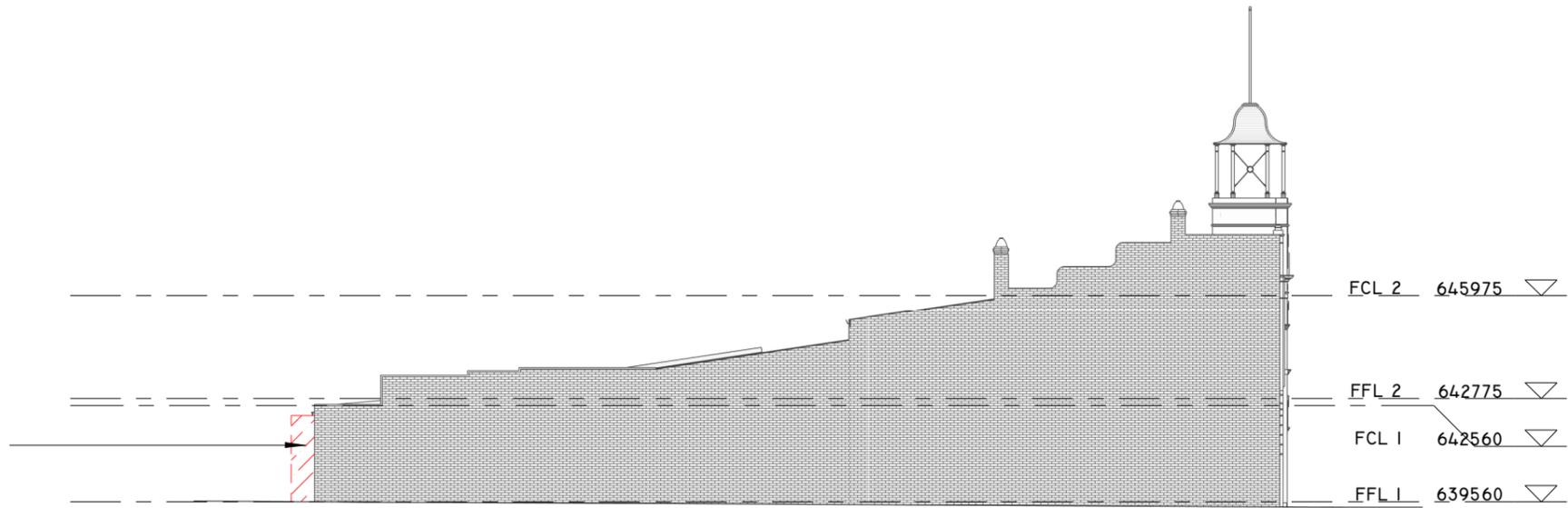


2 DEMOLITION SOUTH ELEVATION
1 : 100 @ A3

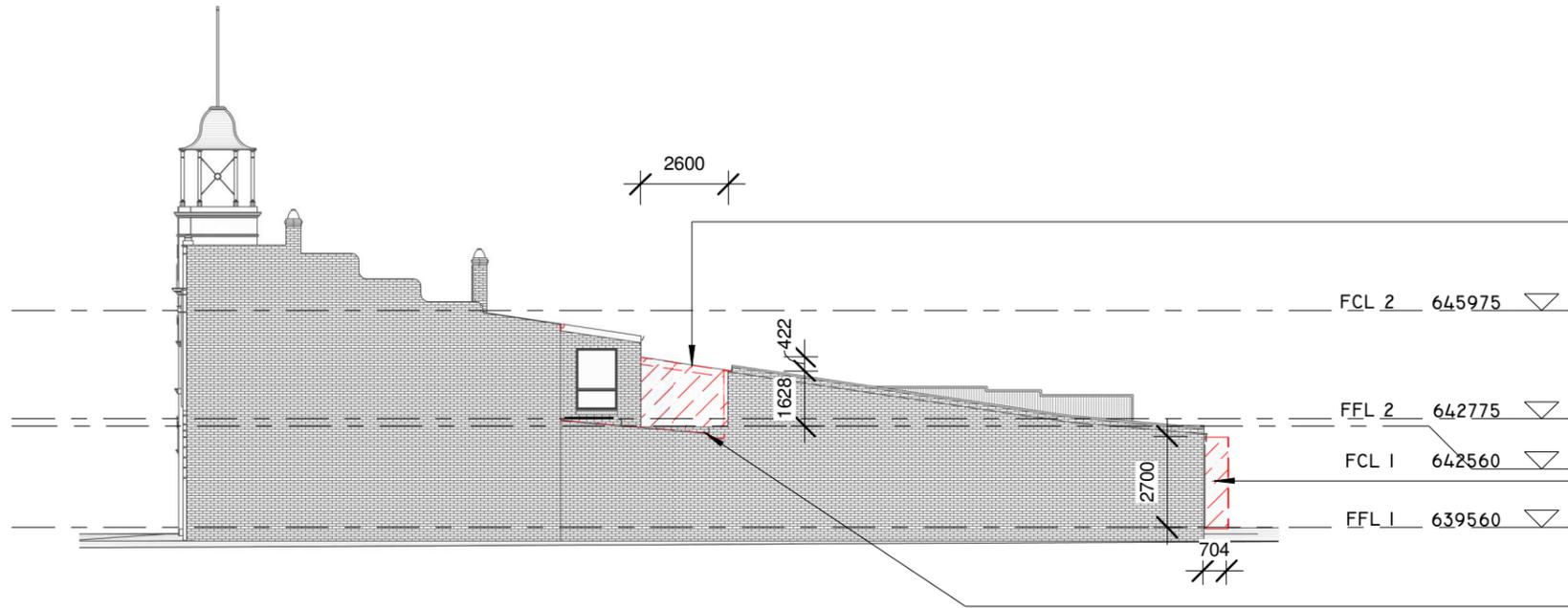
ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	ALTERATION AND ADDITION		DEMOLITION ELEVATIONS	OCT 24	T.L.
A	DEVELOPMENT APPLICATION	05/05/2025	CLIENT	LOT AND DEPOSITED PLAN NO.	1 : 100	DRAWN BY	
			DIANA KIRKPATRICK	LOT 22 DP758468	A3 SHEET	JT	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS	AT SHEET SIZE	JOB NUMBER	
				11 MONTAGUE STREET, GOULBURN	A3 SHEET	0724-1703	
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					A-11	A	

DEMOLISH EXISTING TIMBER WALL SHEETING SHOWN HATCHED RED COMPLETE CARE TO BE TAKEN AROUND EXISTING GAS MAIN AND LINES



1 DEMOLITION EAST ELEVATION
1 : 200 @ A3



DEMOLISH EXISTING ROOF AND INFILL WALL SECTION SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE, CEILING AND LEVEL BELOW. REFER TO NEW WORKS.

DEMOLISH EXISTING TIMBER WALL SHEETING SHOWN HATCHED RED COMPLETE CARE TO BE TAKEN AROUND EXISTING GAS MAIN AND LINES

DEMOLISH EXISTING INFILL COURTYARD CLEAR ROOF SHEETING, BOX GUTTER AND STRUCTURE COMPLETE.

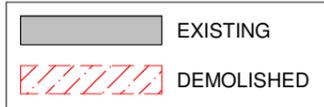
2 DEMOLITION WEST ELEVATION
1 : 200 @ A3

ISSUED FOR
DEVELOPMENT APPLICATION
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DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS <small>residential commercial industrial</small> P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION		DEMOLITION ELEVATIONS	OCT 24	T.L.
			CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE 1 : 200	DRAWN BY JT	
			<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>	STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703	
					DRAWING IDENTIFICATION NUMBER A-12	AMENDMENT ISSUE A	

DEMOLITION:

- ANY DAMAGE RESULTING FROM THE WORKS MUST BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- DEMOLITION SHALL BE CARRIED OUT SO AS TO CAUSE NO DISTURBANCE TO SURROUNDING STRUCTURES. CARE TO BE TAKEN BELOW SLAB LEVEL.
- LOCATE AND PREVENT ANY DAMAGE TO EXISTING SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT DAMAGE TO ALL ADJACENT WORK. SHOULD ANY DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE GOOD TO THE STANDARD OF THE ORIGINAL.
- IF AND WHEN OPENING UP ANY WORK, ANY CONDITIONS ARE FOUND TO BE UNSOUND OR UNSAFE THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR THEIR INSTRUCTIONS.
- PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
- PROVIDE AS CONSTRUCTED DRAWINGS INDICATING LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
- ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
- CONTRACTOR TO REFER TO SPECIFICATION FOR ITEMS TO BE SALVAGED



STRIP EXISTING ROOF SHEETING SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE AND WALL TO REMAIN

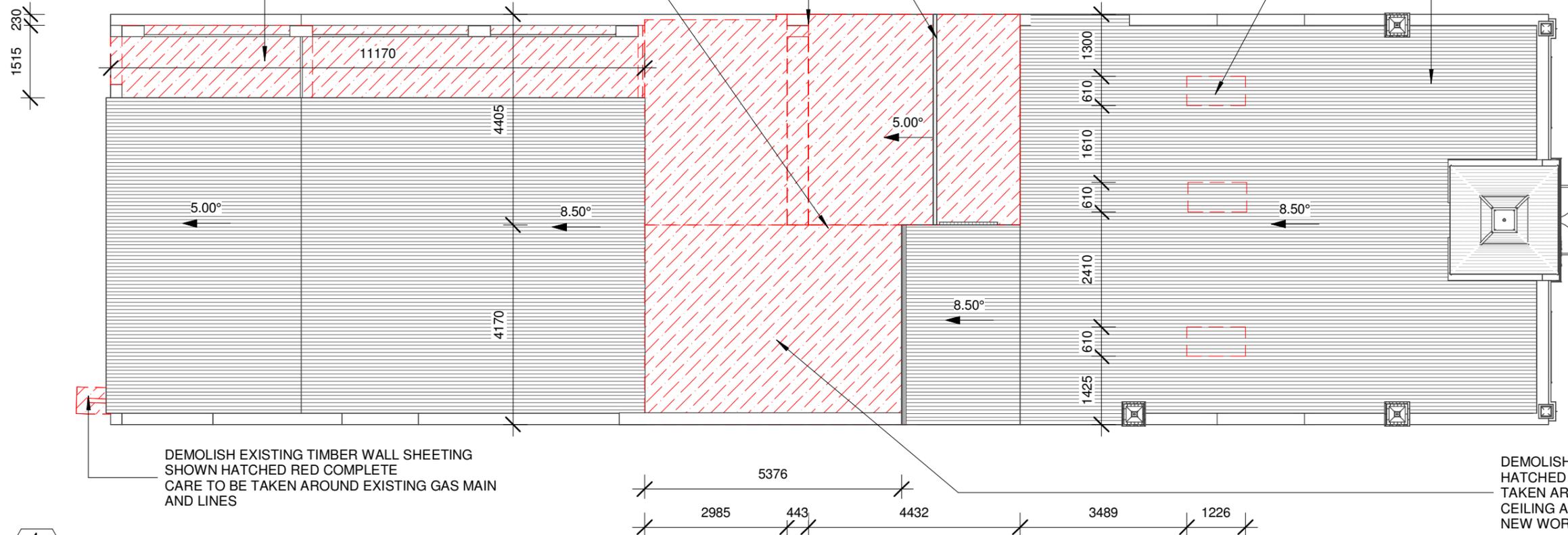
INSPECT EXISTING STEEL BEAM AND NOTIFY ARCHITECT

DEMOLISH EXISTING INFILL COURTYARD CLEAR ROOF SHEETING, BOX GUTTER AND STRUCTURE COMPLETE.

DEMOLISH EXISTING WALL SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE

CUT NEW OPENING IN ROOF AND PREPARE FOR NEW ALUMIUM FRAMED SKYLIGHTS

REMOVE REVERSE CYCLE A/C CONDENSER UNIT

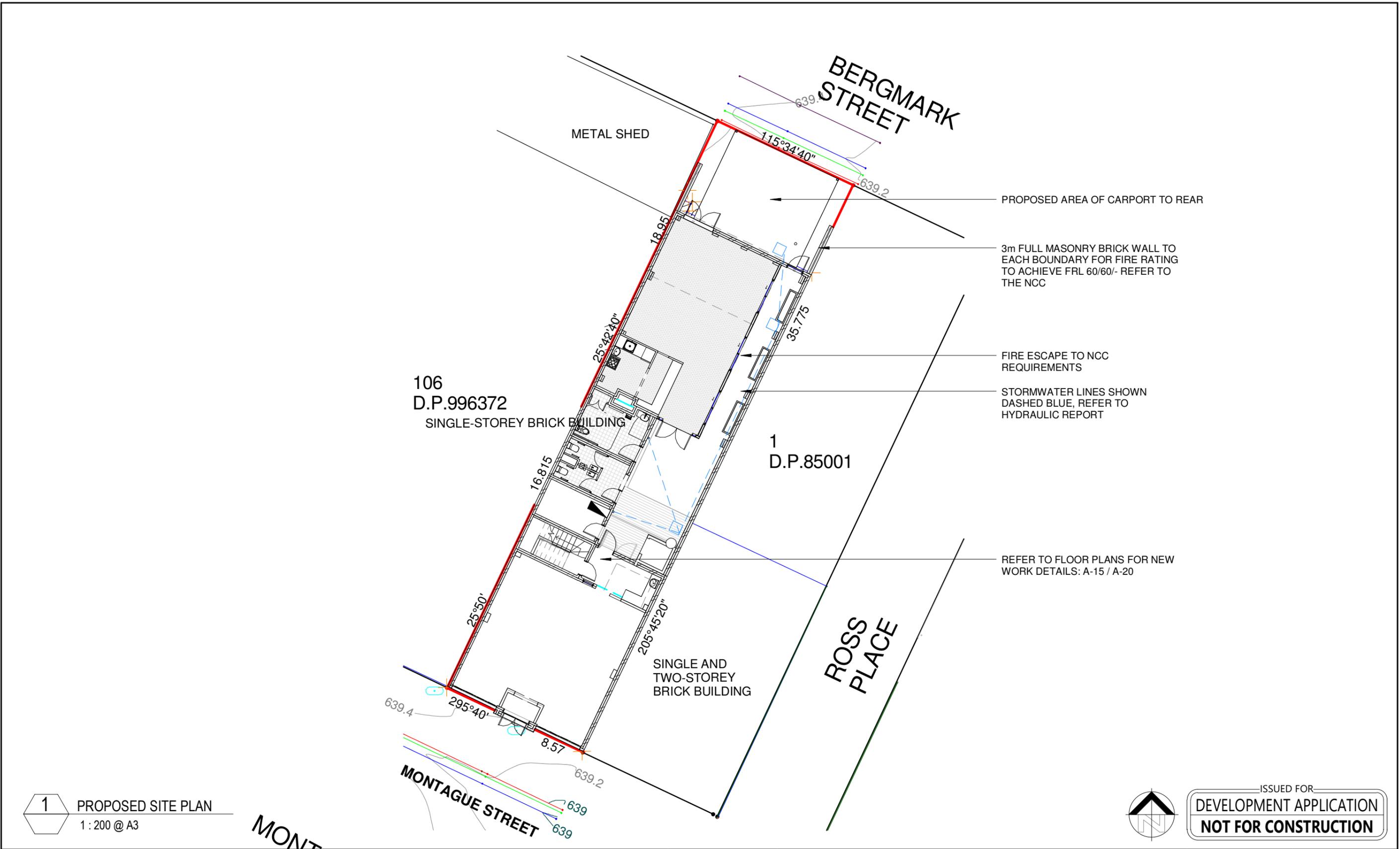


1 DEMOLITION ROOF PLAN
1 : 100 @ A3

DEMOLISH EXISTING ROOF SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE, CEILING AND LEVEL BELOW. REFER TO NEW WORKS.

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS <small>residential commercial industrial</small> P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION		DEMOLITION ROOF PLAN	OCT 24	T.L.
			CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE 1 : 100	DRAWN BY JT	
			<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>	STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703	
					DRAWING IDENTIFICATION NUMBER A-13	AMENDMENT ISSUE A	



1 PROPOSED SITE PLAN
1 : 200 @ A3



ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	ALTERATION AND ADDITION	PROPOSED SITE PLAN	OCT 24	TL
A	DEVELOPMENT APPLICATION	05/05/2025	CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE 1 : 200	DRAWN BY AH
<p>Figured dimensions take precedence. Do not scale drawings.</p> <p>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.</p> <p>COPYRIGHT TIM LEE ARCHITECTS</p> <p>Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</p>			<p>TIM LEE ARCHITECTS residential commercial industrial</p> <p>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</p> <p>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</p>	STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703
					DRAWING IDENTIFICATION NUMBER A-14	AMENDMENT ISSUE A

GENERAL LEGEND

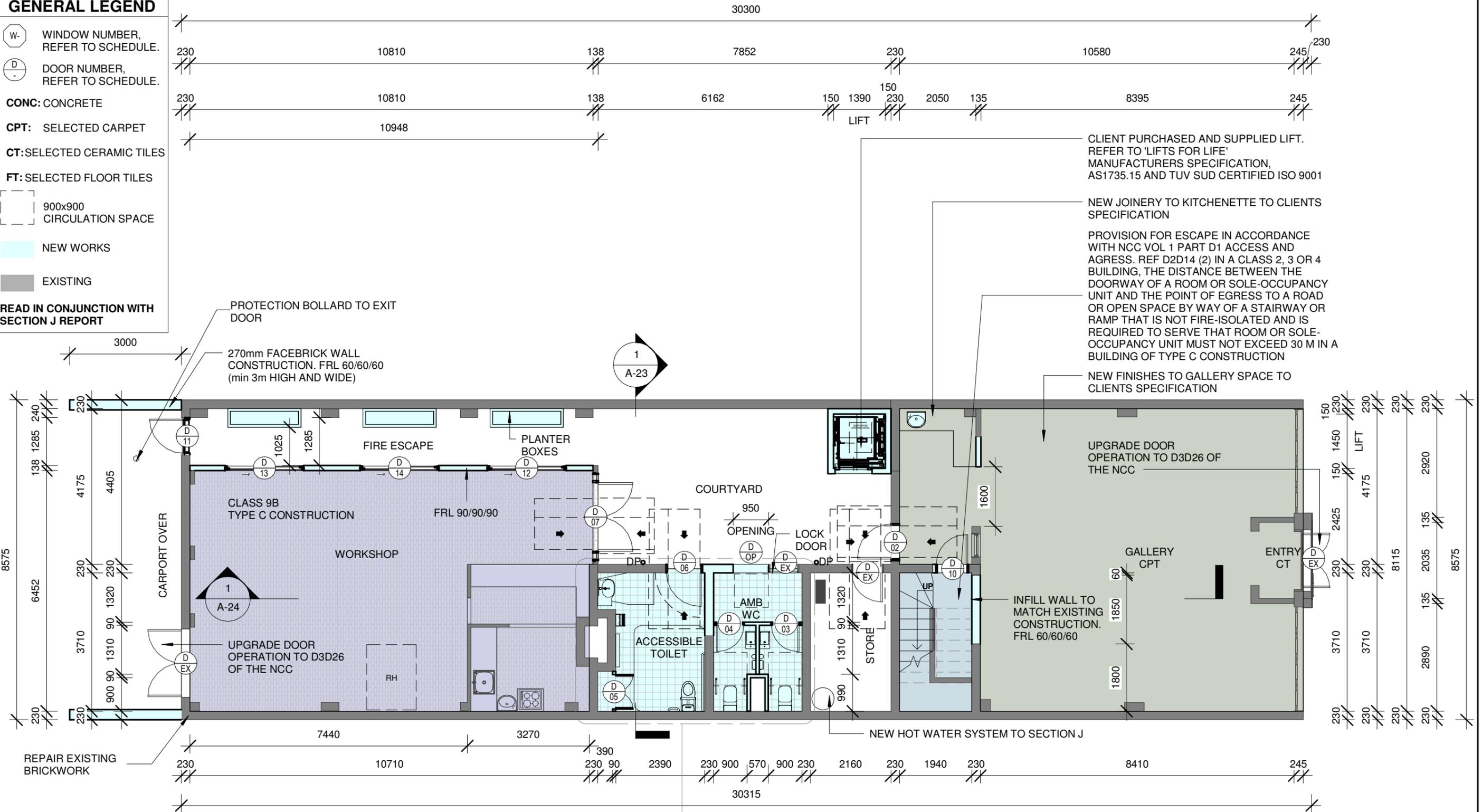
- W WINDOW NUMBER, REFER TO SCHEDULE.
- D DOOR NUMBER, REFER TO SCHEDULE.

- CONC:** CONCRETE
- CPT:** SELECTED CARPET
- CT:** SELECTED CERAMIC TILES
- FT:** SELECTED FLOOR TILES

- 900x900 CIRCULATION SPACE

- NEW WORKS
- EXISTING

READ IN CONJUNCTION WITH SECTION J REPORT



1 PROPOSED GROUND FLOOR PLAN
1 : 100 @ A3

1
A-22



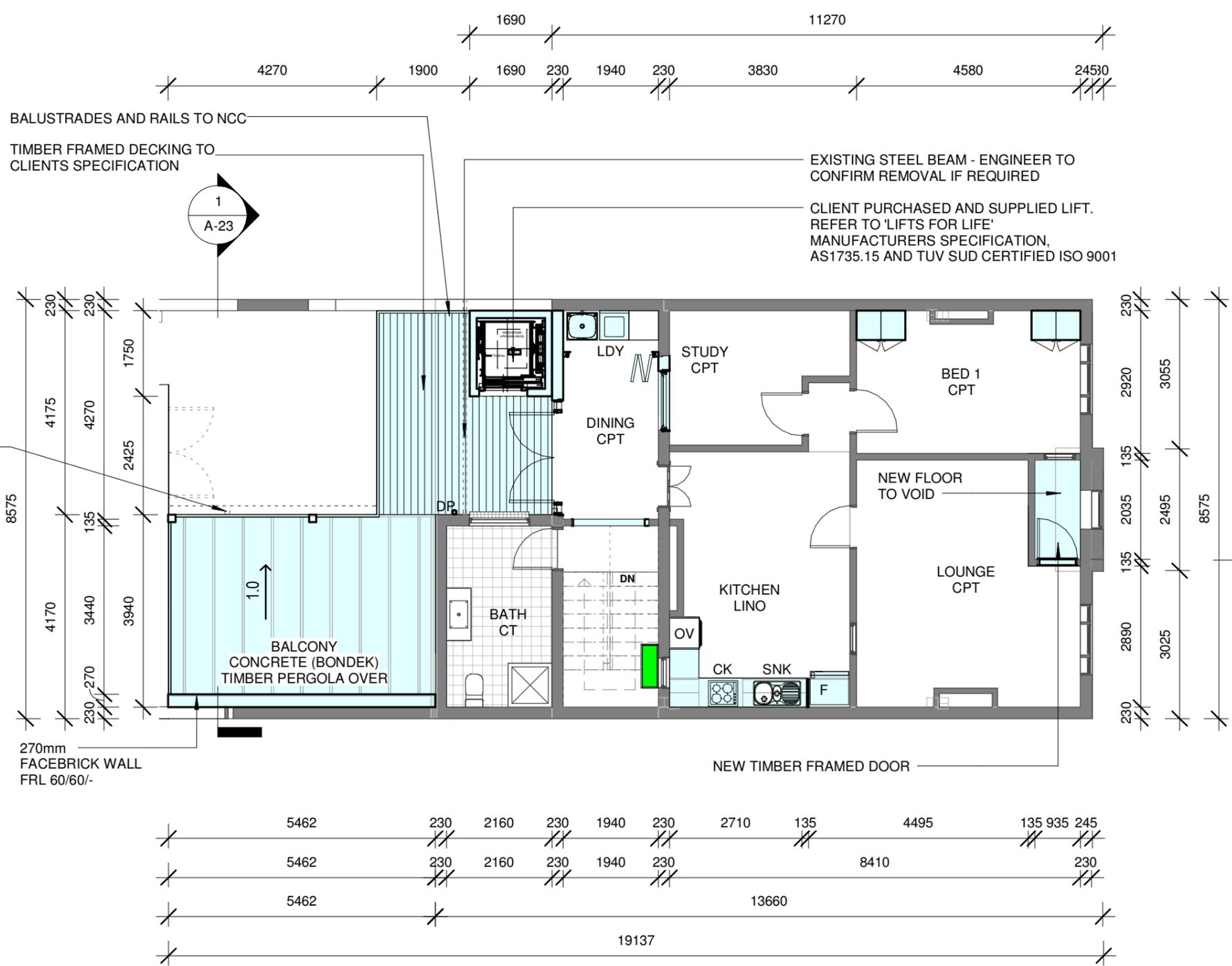
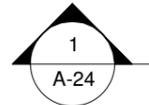
ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE ALTERATION AND ADDITION		TIM LEE ARCHITECTS <small>residential commercial industrial</small> P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE PROPOSED GROUND FLOOR PLAN		DRAWING COMMENCED OCT 24	DRAWING VERIFIED BY T.L.
REVISION A	DESCRIPTION <small>DEVELOPMENT APPLICATION</small>	DATE <small>05/05/2025</small>	CLIENT DIANA KIRKPATRICK			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468		DRAWING SCALE 1 : 100
					STREET ADDRESS 11 MONTAGUE STREET, GOULBURN		AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703	
					DRAWING IDENTIFICATION NUMBER A-15				
								AMENDMENT ISSUE A	

GENERAL LEGEND

- WINDOW NUMBER, REFER TO SCHEDULE.
 - DOOR NUMBER, REFER TO SCHEDULE.
 - CONC:** CONCRETE
 - CPT:** SELECTED CARPET
 - CT:** SELECTED CERAMIC TILES
 - FT:** SELECTED FLOOR TILES
 - 900x900 CIRCULATION SPACE
 - NEW WORKS
 - EXISTING
- READ IN CONJUNCTION WITH SECTION J REPORT**

GUTTER AND DOWNPIPES FOR SLAB AND ROOF ABOVE, REFER TO HYDRAULIC ENGINEERS SPECIFICATION



LEGEND	
	DOOR NUMBER, REFER TO SCHEDULE
	WINDOW NUMBER, REFER TO SCHEDULE
	HIGHLIGHT WINDOW NUMBER, REFER TO SCHEDULE
	DOWNPIPES, SPACED MAX. 12m APART
	DOWNPIPES WITH SPREADER
	TIMBER FLOORING
	CARPET INCLUDING ALL TRIMS & EDGING STRIPS
	NON-SLIP FLOOR TILES, MIN R11/P4 SLIP RATING, FULLY VITRIFIED, GUARANTEED 10 YEARS
	CONCRETE, NON-SLIP HONED FINISH
	CONCRETE, NON-SLIP BRUSHED FINISH
	RANGEHOOD OVER COOK TOP
	COOK TOP, REFER TO BASIX
	DISHWASHER, CONNECT TO SINK DRAIN
	OVERHEAD CUPBOARDS
	MECHANICAL VENTILATION, CEILING OR WALL MOUNTED EXHAUST
	CEILING MOUNTED HARD WIRED SMOKE ALARMS INSTALLED TO MEET AS 3786
	SEMI RECESSED INSTANT GAS HOT WATER UNIT
	METER BOX & NBN CONNECTION POINT
	GAS METER
	INTERNAL DISTRIBUTION BOARD
	WET AREA

1 PROPOSED FIRST FLOOR PLAN
1 : 100 @ A3

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	ALTERATION AND ADDITION	PROPOSED FIRST FLOOR PLAN	OCT 24	T.L.
A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
				LOT 22 DP758468	1 : 100	JT
				STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
				11 MONTAGUE STREET, GOULBURN	A3 SHEET	0724-1703
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					A-16	A

TIM LEE ARCHITECTS
residential commercial industrial
P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

Figured dimensions take precedence. Do not scale drawings.
Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.
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GENERAL LEGEND

NEW WORKS

EXISTING

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

NOTES:

- REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.
- SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.
- THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.
- ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.
- THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.
- COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.
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- ALL WORK TO BE CARRIED OUT COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.
- PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.
- GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.



ALUMINIUM FRAMED DOUBLE SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS

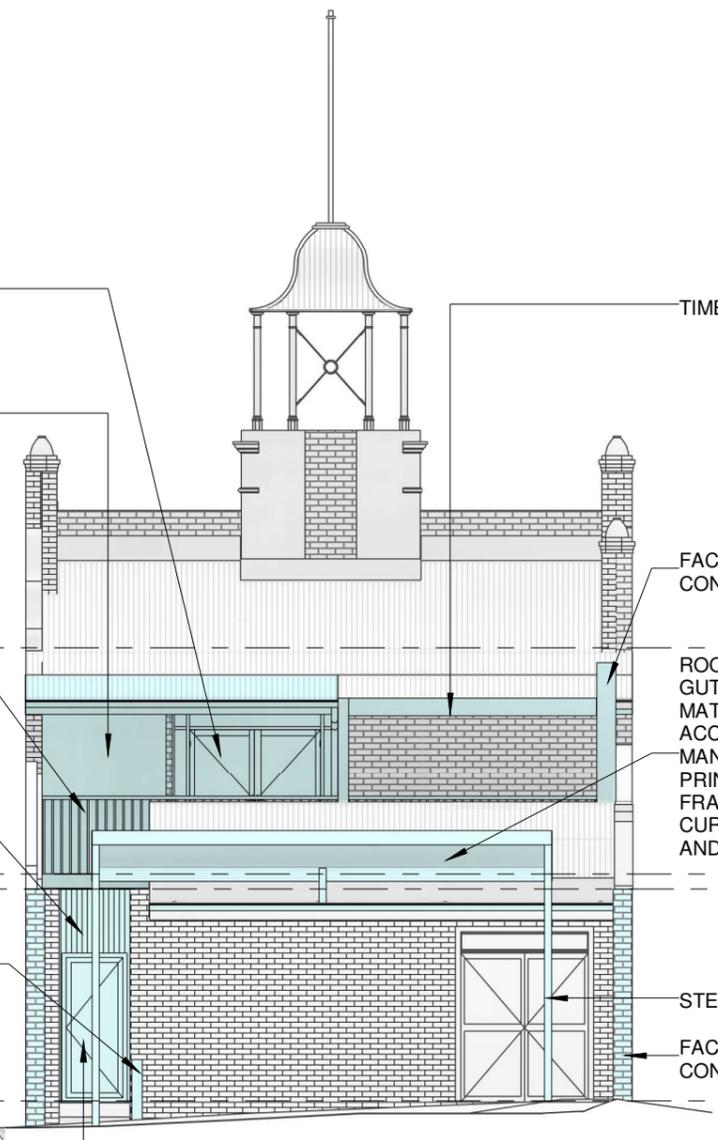
CLIENT PURCHASED AND SUPPLIED LIFT. REFER TO 'LIFTS FOR LIFE' MANUFACTURERS SPECIFICATION, AS1735.15 AND TUV SUD CERTIFIED ISO 9001

BALUSTRADES AND RAILS TO NCC

EXTERIOR GRADE CLADDING FRL 60/60/60 (90mm TIMBER STUD CONSTRUCTION)

PROTECTION BOLLARD TO EXIT DOOR

STEEL FRAMED SOLID CORE EXTERNAL FIRE DOOR. PANIC BAR EXIT INTERNAL, LEVER AND PLATE HANDLE EXTERNAL



TIMBER FRAMED PERGOLA

FACE BRICK (270mm DOUBLE BRICK CONSTRUCTION)

FCL 2 645975

ROOF SHEETING, FASCIAS, GUTTERS AND FLASHINGS TO MATCH EXISTING. FIX IN ACCORDANCE WITH

MANUFACTURERS CURRENT PRINTED INSTRUCTION. ROOF FRAMING TO MANUFACTURERS CURRENT PRINTED INSTRUCTION AND AS1684

FFL 2 642775

FCL 1 642560

STEEL SHS4

FACE BRICK (270mm DOUBLE BRICK CONSTRUCTION)

FFL 1 639560

1 PROPOSED NORTH ELEVATION

1 : 100 @ A3

2 PROPOSED SOUTH ELEVATION

1 : 100 @ A3

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DRAWING AMENDMENTS			PROJECT TITLE ALTERATION AND ADDITION	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE PROPOSED ELEVATIONS	DRAWING COMMENCED OCT 24	DRAWING VERIFIED BY T.L.
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	CLIENT DIANA KIRKPATRICK		LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE 1 : 100	DRAWN BY JT
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.				STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703	
					DRAWING IDENTIFICATION NUMBER A-17	AMENDMENT ISSUE A	

GENERAL LEGEND

- NEW WORKS
- EXISTING

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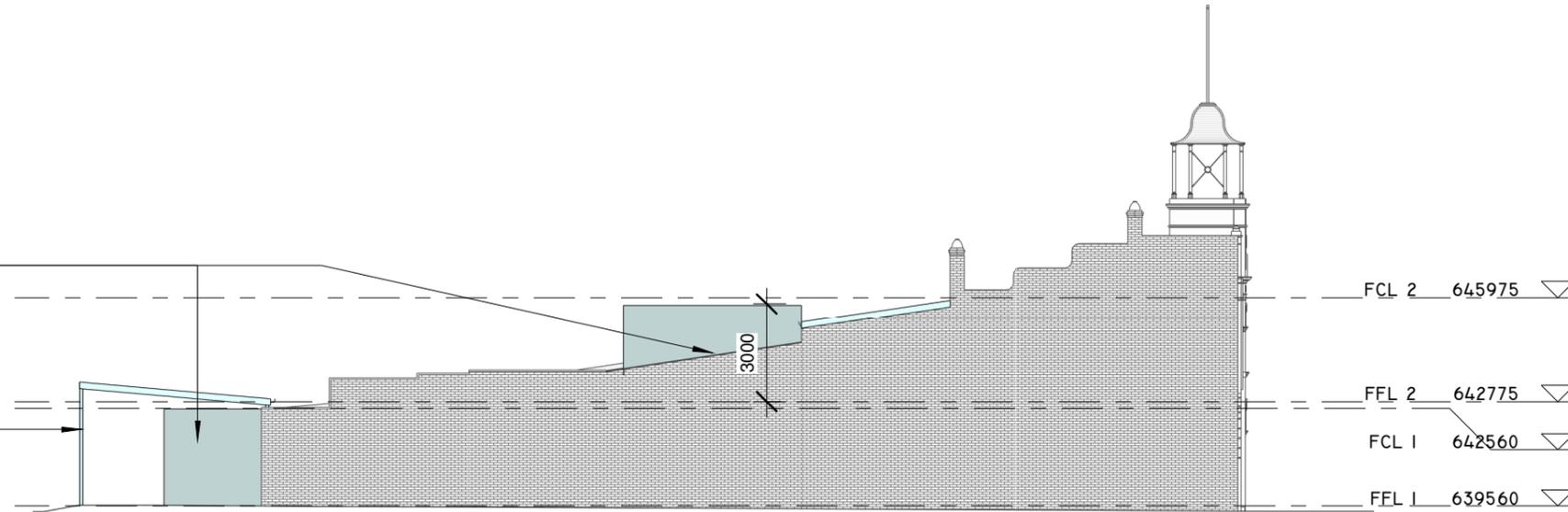
CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

- NOTES:**
- REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.
 - SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
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 - PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.
 - GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.

FACE BRICK (270mm DOUBLE BRICK CONSTRUCTION)

STEEL SHS4



1 PROPOSED EAST ELEVATION
1 : 200 @ A3

CLIENT PURCHASED AND SUPPLIED LIFT. REFER TO 'LIFTS FOR LIFE' MANUFACTURERS SPECIFICATION, AS1735.15 AND TUV SUD CERTIFIED ISO 9001

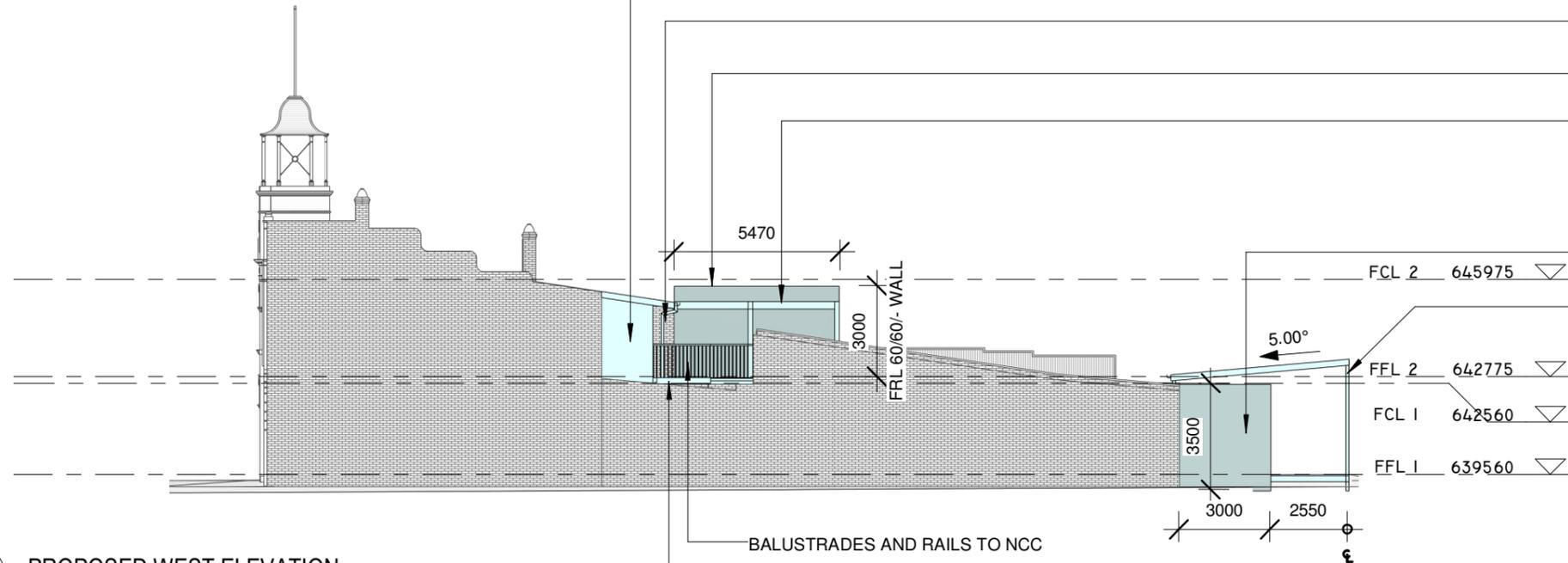
90mmØ UPVC DOWNPIPE, PAINT FINISH

FACE BRICK (270mm DOUBLE BRICK CONSTRUCTION)

TIMBER FRAMED PERGOLA

FACE BRICK (270mm DOUBLE BRICK CONSTRUCTION)

STEEL SHS4



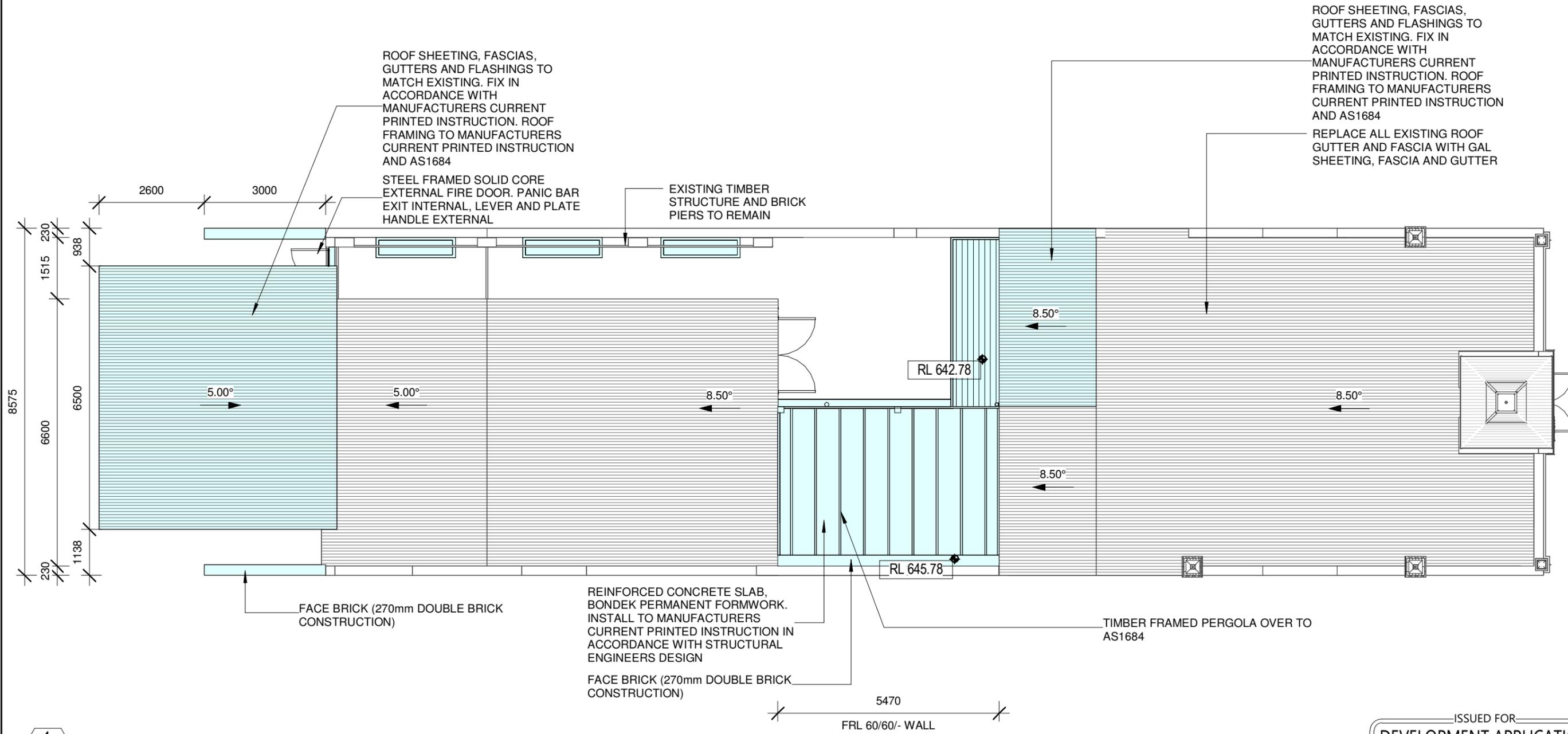
2 PROPOSED WEST ELEVATION
1 : 200 @ A3

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS <small>residential commercial industrial</small> P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION		PROPOSED ELEVATIONS	OCT 24	T.L.
			CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE As indicated	DRAWN BY JT	
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.				STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703	
					DRAWING IDENTIFICATION NUMBER A-18	AMENDMENT ISSUE A	

GENERAL LEGEND

- NEW WORKS
- EXISTING

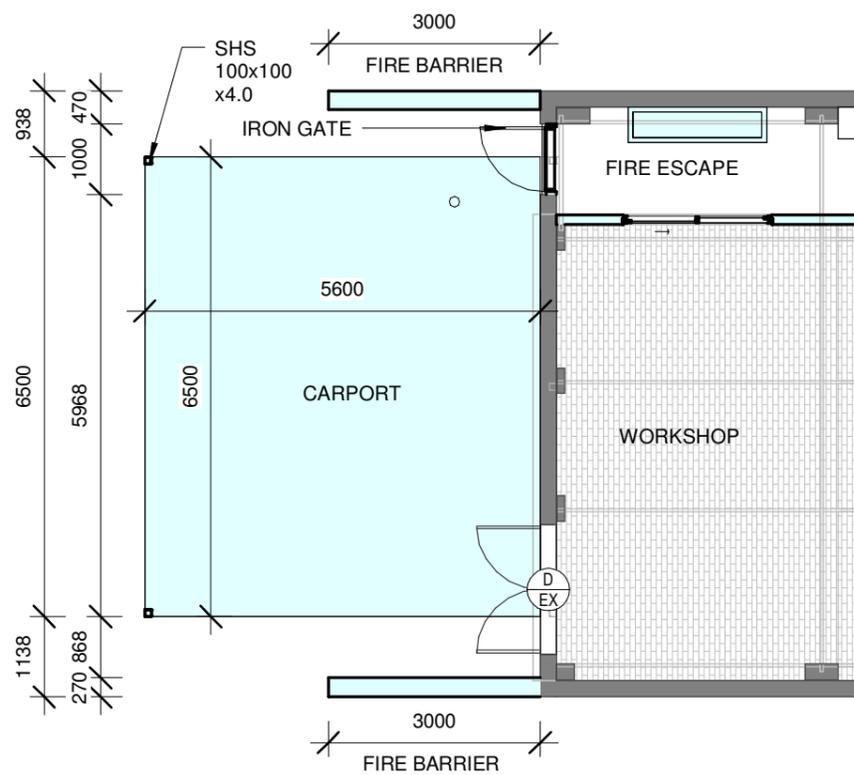


1 PROPOSED ROOF PLAN
1 : 100 @ A3

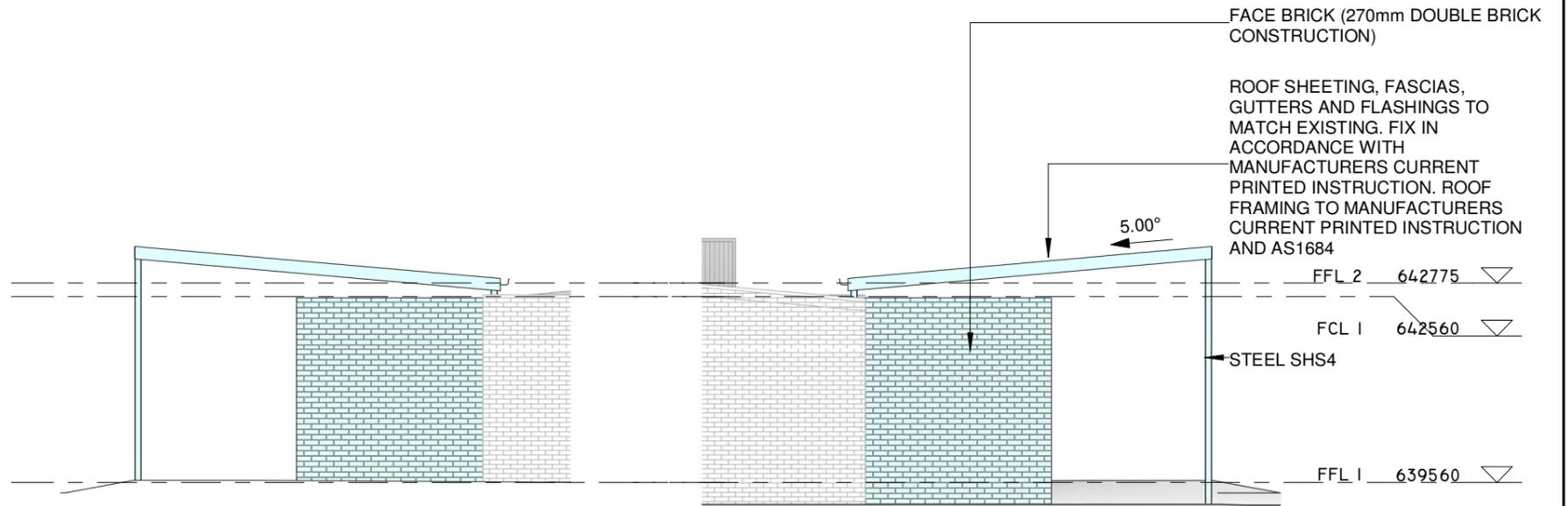
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DRAWING AMENDMENTS			PROJECT TITLE ALTERATION AND ADDITION		+L TIM LEE ARCHITECTS <small>residential commercial industrial</small>	DRAWING TITLE PROPOSED ROOF PLAN		<small>DRAWING COMMENCED</small> OCT 24	<small>DRAWING VERIFIED BY</small> T.L.
<small>REVISION</small> A	<small>DESCRIPTION</small> DEVELOPMENT APPLICATION	<small>DATE</small> 05/05/2025	<small>CLIENT</small> DIANA KIRKPATRICK			P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	<small>LOT AND DEPOSITED PLAN NO.</small> LOT 22 DP758468		<small>DRAWING SCALE</small> 1 : 100
			<small>FIGURED DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.</small>		<small>STREET ADDRESS</small> 11 MONTAGUE STREET, GOULBURN		<small>AT SHEET SIZE</small> A3 SHEET	<small>JOB NUMBER</small> 0724-1703	
			<small>BUILDER TO CHECK ALL LEVELS DATUM AND DIMENSIONS ON THE JOB. CONFLICTING INFORMATION TO BE RESOLVED BY THE PROJECT MANAGER PRIOR TO COMMENCING WORK. ALL MATERIALS AND WORKMANSHIP TO BE IN STRICT ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS, BCA, LOCAL REGULATION AND MANUFACTURERS CURRENT PRINTED INSTRUCTIONS. UNLESS NOTED OTHERWISE USE ONLY BEST QUALITY MATERIALS, FITTINGS AND FIXTURES.</small>				<small>DRAWING IDENTIFICATION NUMBER</small> A-19	<small>AMENDMENT ISSUE</small> A	
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BERGMARK STREET

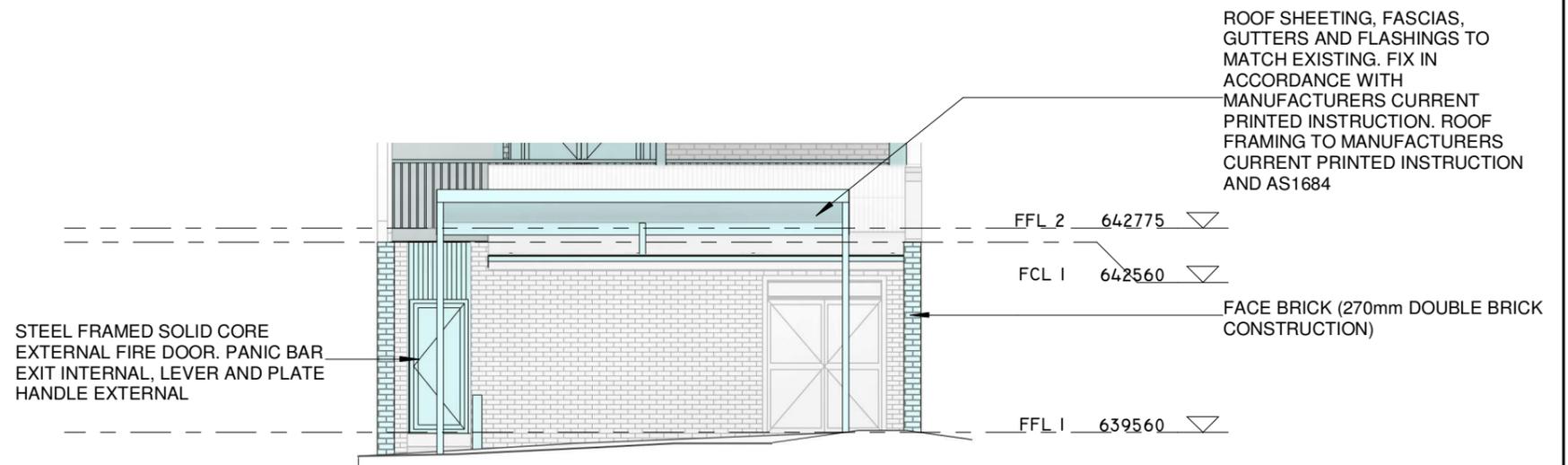


1 PROPOSED CARPORT PLAN
1 : 100 @ A3



2 PROPOSED CARPORT EAST ELEVATION
1 : 100 @ A3

3 PROPOSED CARPORT WEST ELEVATION
1 : 100 @ A3



4 PROPOSED CARPORT SOUTH ELEVATION
1 : 100 @ A3

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DRAWING AMENDMENTS			PROJECT TITLE	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION	PROPOSED CARPORT PLAN		OCT 24	T.L.
			CLIENT	LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
			DIANA KIRKPATRICK	LOT 22 DP758468		1 : 100	JT
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS		AT SHEET SIZE	JOB NUMBER
				11 MONTAGUE STREET, GOULBURN		A3 SHEET	0724-1703
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						A-20	A

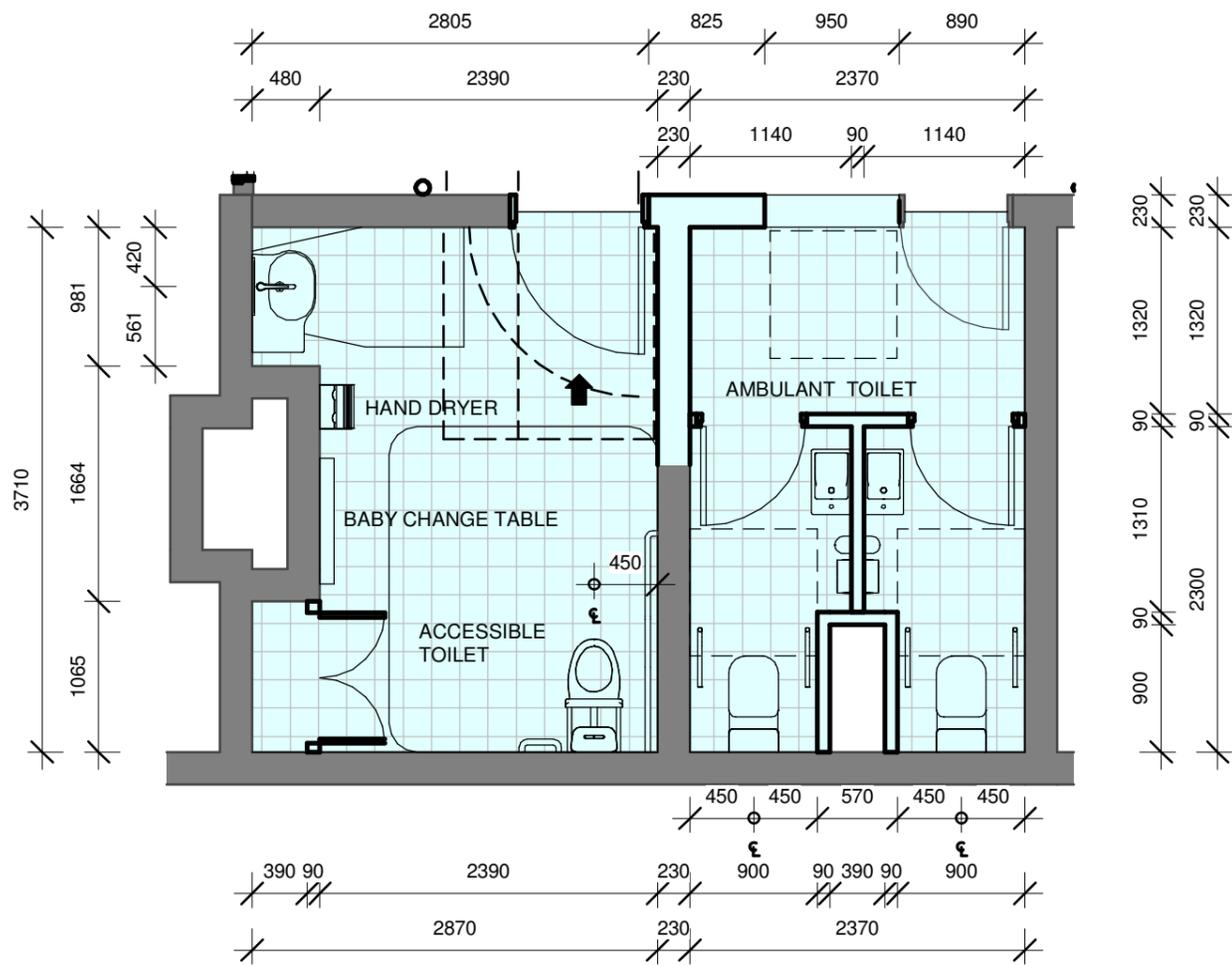
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NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030



DOOR SCHEDULE						WINDOW SCHEDULE					
DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
02	EXTERIOR GRADE TIMBER FRAMED SOLID CORE SWINGING DOOR	2100	920	0	2100	01	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	1210	900	2700
03	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	720	0	2100						
04	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	720	0	2100						
05	TIMBER FRAMED, HOLLOW CORE DOUBLE SWINGING DOOR	2040	920	0	2040						
06	EXTERIOR GRADE TIMBER FRAMED SOLID CORE SWINGING DOOR	2100	920	0	2100						
07	ALUMINIUM FRAMED DOUBLE SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1938	0	2100						
08	TIMBER FEATURE ENTRY DOOR	2100	820	0	2100						
09	ALUMINIUM FRAMED BI-FOLD DOOR, POWDERCOAT FINISH	2100	1800	0	2100						
10	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	820	0	2100						
11	STEEL FRAMED SOLID CORE EXTERNAL FIRE DOOR. PANIC BAR EXIT INTERNAL, LEVELER AND PLATE HANDLE EXTERNAL	2100	920	0	2100						
12	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2100	0	2100						
13	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2100	0	2100						
14	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2100	0	2100						
15	ALUMINIUM FRAMED DOUBLE SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1938	0	2100						
op kit		0	0	0	0						

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DRAWING AMENDMENTS			PROJECT TITLE ALTERATION AND ADDITION	 TIM LEE ARCHITECTS <small>residential commercial industrial</small> P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE WINDOW & DOOR SCHEDULES	DRAWING COMMENCED OCT 24	DRAWING VERIFIED BY T.L.
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	CLIENT DIANA KIRKPATRICK		LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE	DRAWN BY JT
<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>					STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703
					DRAWING IDENTIFICATION NUMBER A-21	AMENDMENT ISSUE A	



1 DETAIL WET AREA FLOOR PLAN & ELEVATIONS
1 : 50 @ A3

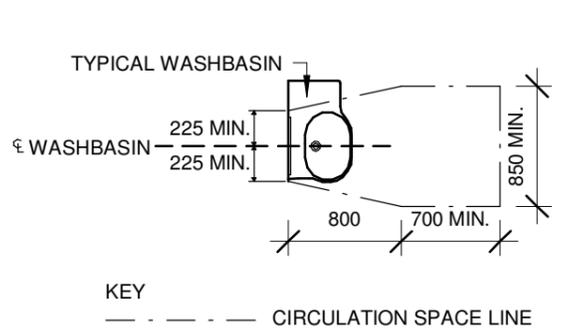


FIGURE 46 - CIRCULATION SPACE FOR WASHBASINS

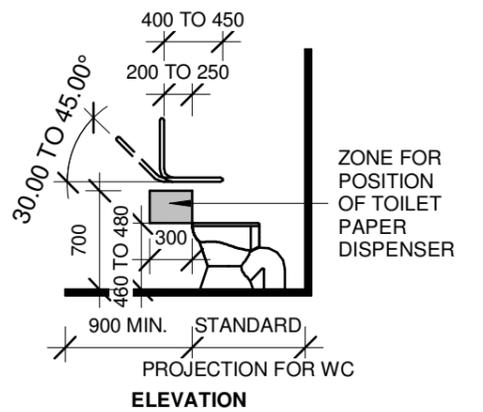
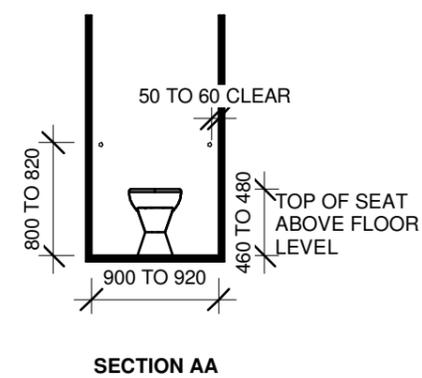
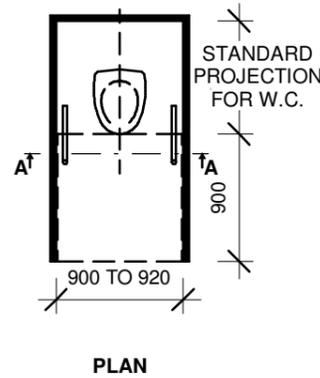
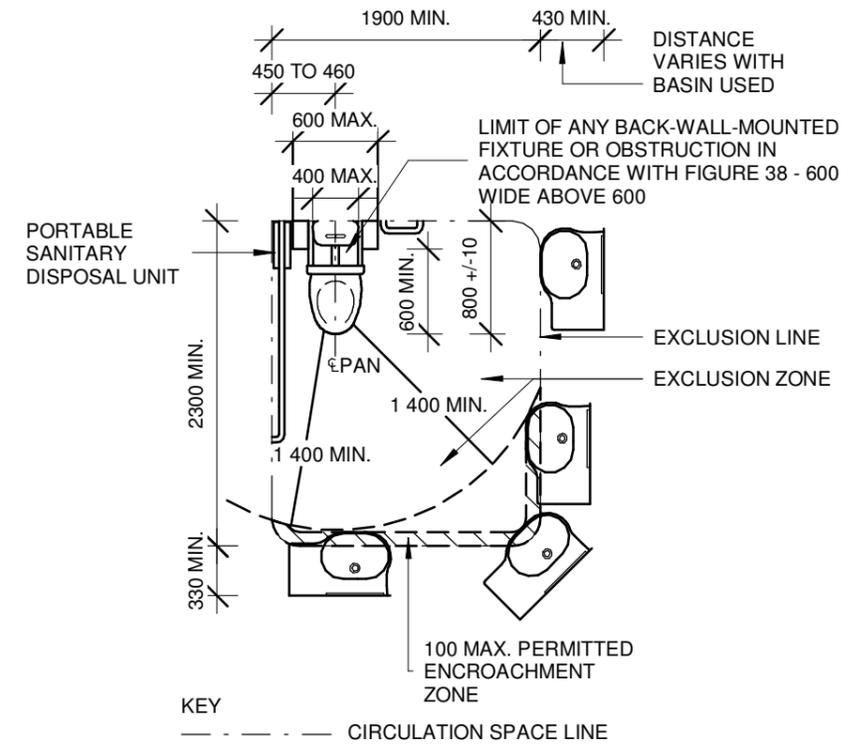
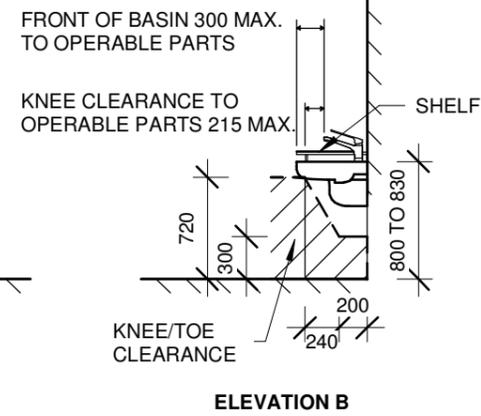
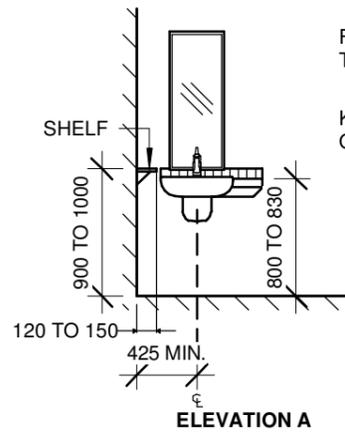
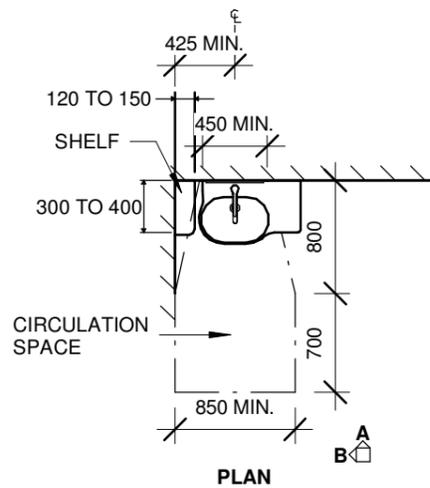


FIGURE 52(A) - SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES



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REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION		DETAIL WET AREA FLOOR PLAN & ELEVATIONS	OCT 24
			CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468		DRAWING SCALE 1 : 50
			FIGURED DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. BUILDER TO CHECK ALL LEVELS DATUM AND DIMENSIONS ON THE JOB, CONFLICTING INFORMATION TO BE RESOLVED BY THE PROJECT MANAGER PRIOR TO COMMENCING WORK. ALL MATERIALS AND WORKMANSHIP TO BE IN STRICT ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS, BCA, LOCAL REGULATION AND MANUFACTURERS CURRENT PRINTED INSTRUCTIONS. UNLESS NOTED OTHERWISE USE ONLY BEST QUALITY MATERIALS, FITTINGS AND FIXTURES. COPYRIGHT TIM LEE ARCHITECTS DRAWINGS SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.	STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703
					DRAWING IDENTIFICATION NUMBER A-22	AMENDMENT ISSUE A

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ROOF SHEETING, FASCIAS, GUTTERS AND FLASHINGS TO MATCH EXISTING. FIX IN ACCORDANCE WITH MANUFACTURERS CURRENT PRINTED INSTRUCTION. ROOF FRAMING TO MANUFACTURERS CURRENT PRINTED INSTRUCTION AND AS1684

CLIENT PURCHASED AND SUPPLIED LIFT. REFER TO 'LIFTS FOR LIFE' MANUFACTURERS SPECIFICATION, AS1735.15 AND TUV SUD CERTIFIED ISO 9001 (SHOWN BLUE)

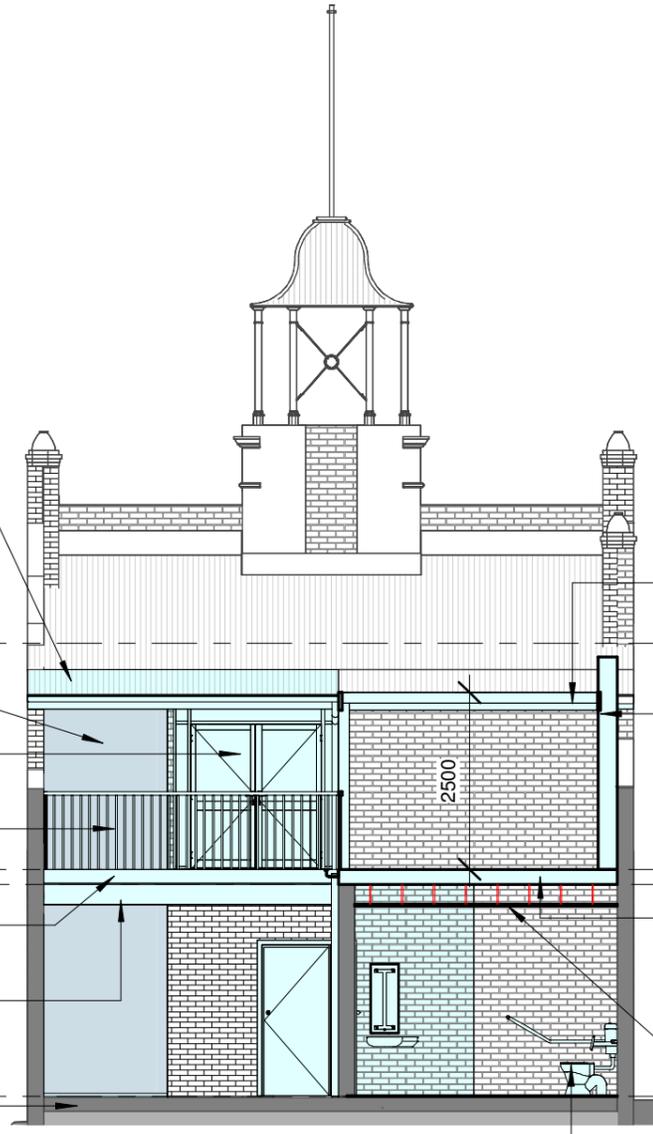
ALUMINIUM FRAMED DOUBLE SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS

BALUSTRADES AND RAILS TO NCC

TIMBER FRAMED DECKING TO CLIENTS SPECIFICATION

BEAM FOR TIMBER FLOOR TO ENGINEERS SPECIFICATION

EXISTING WALLS, FLOORS AND STRUCTURE SHOWN HATCHED GREY TO REMAIN



TIMBER FRAMED PERGOLA, WHALING PLATE TO BRICK WALL. TIMBER POST TO COURTYARD SIDE, POST BRACKET SUPPORT TO SLAB BELOW
230mm FACEBRICK WALL
FRL 60/60/-

REINFORCED CONCRETE SLAB, BONDEK PERMANENT FORMWORK. INSTALL TO MANUFACTURERS CURRENT PRINTED INSTRUCTION IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN

10mm PLASTERBOARD CEILING LINING FIXED TO RONDO SUSPENDED CEILING SYSTEM, REFER TO MANUFACTURERS CURRENT PRINTED INSTRUCTION

NEW AMBULANT AND ACCESSIBLE BATHROOM FITTINGS, FIXTURES AND FINISHES IN STRICT ACCORDANCE WITH AS1428.1

1 SECTION A-A
1 : 100 @ A3

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REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION	SECTION A-A	OCT 24	Approver
			CLIENT DIANA KIRKPATRICK	LOT AND DEPOSITED PLAN NO. LOT 22 DP758468	DRAWING SCALE 1 : 100	DRAWN BY Author
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS 11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE A3 SHEET	JOB NUMBER 0724-1703
			TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030		DRAWING IDENTIFICATION NUMBER A-23	AMENDMENT ISSUE A

GENERAL NOTES:

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.

ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

EXTERNAL STAIRS

NON-SLIP PRECAST STEPS TO BE 75mm THICK. ALL STEPS TO HAVE NON-SLIP GROOVES TO THE FRONT EDGE. ALL STEPS TO BE IN ONE PIECE FOR ITS FULL LENGTH. STAIR RISE AND GOING TO COMPLY WITH BCA D2.13 - 2R+G : GREATER THAN 550mm LESS THAN 700mm. ALL STAIR RISERS TO BE EQUAL AND COMPLY WITH BCA D2.13 - MIN. 115mm AND MAX. 190mm. MAXIMUM VARIANCE ACROSS THE STAIR LENGTH ±2mm. ALL STAIR GOINGS TO BE EQUAL TO AND COMPLY WITH BCA D2.13 - MIN. 240mm (PRIVATE), MIN. 250mm (PUBLIC) AND MAX. 355mm.

CONCRETE SLABS & FOUNDATIONS

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR. - A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

MINIMUM BEARING PRESSURE 150KPa. ONO.

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.

50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.

50mm SET DOWN FOR WET AREAS.

FRAMING

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONAL TIMBER FRAMING CODE).

CEILINGS

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS. INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

WALLS

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

EXTERIOR WALLS - MASONRY

WEEPHOLES TO EVERY THIRD PERPEND. SUPER ALCOR DCP OVER WEEPHOLES.

FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD & SEAL WITH COLOURED MASTIC. EJ AT MAX. 9m cts UNLESS OTHERWISE SPECIFIED. SLIP JOINT BETWEEN CONCRETE SLAB & SUPPORTING MASONRY WALLS. CLEAR ALL PERPENDS TO LOWEST COURSE.

EXTERIOR WALLS - CLADDING

SELECTED EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO BASIX / NATHERS REQUIREMENTS) & SISALATION. SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ROOF

SELECTED PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

WET AREAS

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

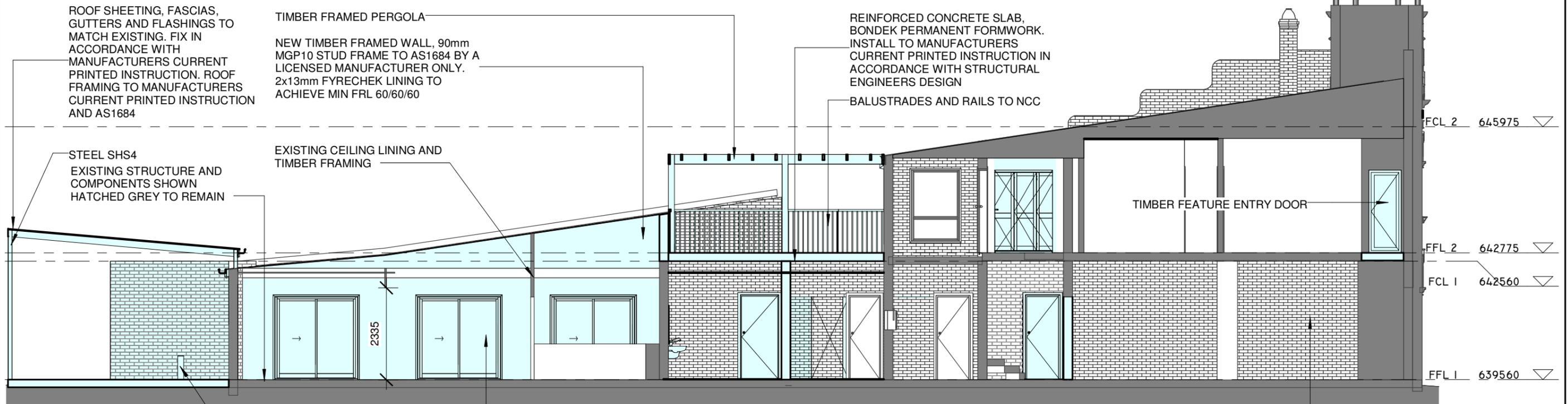
TILING

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE REPREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.



1 SECTION B-B
1 : 100 @ A3

ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS
PROTECTION BOLLARD TO EXIT DOOR

INSPECT ALL UNCOVERED STRUCTURE IN PROPOSED GALLERY AND COURTYARD SPACES AND REPORT TO ARCHITECT

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A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK	LOT 22 DP758468	DRAWING SCALE	DRAWN BY
					1 : 100	AH
					AT SHEET SIZE	JOB NUMBER
					A3 SHEET	0724-1703
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					A-24	A

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